

4

PICO RIVERA CENTER MASTER SIGN PROGRAM

“Entertainment Center is not part of sign plan.”

PICO RIVERA • CALIFORNIA

Revised: 06/14/18



PICO RIVERA CENTER

MASTER SIGN PROGRAM

PROJECT DIRECTORY:

LANDLORD: **VESTAR**
7575 Carson Blvd.
Long Beach, CA 90808 (562) 938-1722

ARCHITECT: PERKOWITZ & RUTH ARCHITECTS
600 Anton Boulevard 16th Floor
Costa Mesa, CA 92626
Tel: 714.850.3400
Www.prarchitects.com

TABLE OF CONTENTS

PAGE	CONTENTS:
1.	COVER PAGE
2.	TABLE OF CONTENTS
3.	SIGNAGE DESIGN CRITERIA OBJECTIVE
4.	MAJOR (DRUG STORE) BUILDING GENERAL SIGNAGE GUIDELINES
5.	TENANT SHOPS ZONE GENERAL SIGNAGE GUIDLINES
6.	SIGNAGE DETAILS AND SPECIFICATIONS
7.	PROHIBITED SIGNS / CALCULATING SQUARE FOOTAGE
8.	GENERAL SIGNAGE DESIGN GUIDLINES
9.	CONSTRUCTION REQUIREMENTS
10.	APPROVALS OF TENANT SIGNAGE
11.	SIGN TYPE SECTION DETAILS
12.	SITE PLAN / DISTRICT (ZONING) AREAS
13.	PYLON SIGN CLOSE-UP LAYOUT
14-18.	MAJOR (DRUG STORE) BUILDING SIGNAGE LAYOUTS & MINOR (TENANT SHOPS) BUILDING SIGNAGE LAYOUTS
19-21.	PAD A BUILDING SIGNAGE LAYOUTS
22-30.	PAD A SIGN SPECIFICATIONS
31-33.	PAD B BUILDING SIGNAGE LAYOUTS
34-36.	MONUMENT/PYLON SIGN LAYOUTS



PICO RIVERA CENTER

MASTER SIGN PROGRAM

Pico Rivera Center Tenant Criteria

Purpose of Tenant Signage Design Criteria:

This Signage Design Criteria is provided to guide designers, architects, and tenants in the development of tenant identity signs at Pico Rivera Center.

- I. The objectives are:
 1. To generate varied and creative tenant signage through application of imaginative design treatments and distinctive logos and type styles.
 2. To establish signage as a design element that contributes to a "Shopping District" environment unique to Pico Rivera Center.
 3. To provide standards of acceptability for signs in order to facilitate the review and Approval process.
- II. Any signs fabricated and installed without prior approval in writing from the Landlord may be removed by the Landlord. All costs for removal, including but not limited to patch and repair of the building, will be at the tenant's expense.
- III. The Tenant Signage Design Criteria is part of the Tenant's lease and the Tenant is required to Comply with these requirements.

Tenant Signage Within Pico Rivera Center

All tenants are encouraged to push the boundaries and design exciting signage. Every signage submission approval is at the discretion of the Landlord and the Landlord may approve signage that exceeds the limits listed in the following criteria on a case by case basis.

The tenant signage for Pico Rivera Center is divided into three distinct "Zones" to assist the tenant in choosing the appropriate signage type, location, and quantity for their identity. All stores and their corresponding elevations fit within a particular district. Please refer to the included map for the location.

Pico Rivera Center is divided into the following signage areas:

- I. Major Building / Drug Store General Signage Guidelines
- II. Tenant Shops Zone General Signage Guidelines

Tenant Signage Allowed Within Each District:

The tenants in each district must have certain required sign types. They are listed below. In addition to the two required sign types, tenants are allowed to have signs selected from the "optional" signage in the indicated areas.

Signage located on the rear elevation is prohibited, unless the tenant designs and entrance exclusively for public use in that elevation. Service entries or fire exits are not considered public entries, therefore are prohibited from having primary signage.

Variations away from these designated areas need approval from the Landlord prior to being submitted to the City for permit. The maximum allowable square footage area of each sign is to be determined based on the building square footage or lineal frontage of the store front, it's location in Pico Rivera Center, and the City of Pico Rivera prior to installation.

Note: A separate sign permit is required from the City of Pico Rivera prior to installation.



PICO RIVERA CENTER

MASTER SIGN PROGRAM

I. Major Building / Drug Store General Signage Guidelines: (150 liner feet of street frontage & 25,000 square feet or more)

Allowable Sign Types:

1. Primary Signage: Required
 - A. Single / Dual Illuminated Channel letters
 - B. Single / Dual Illuminated Channel / Logo plaques
 - C. Channel letters with exposed neon
 - D. Reverse pan channel halo lit individual dimensional letters

2. Optional Signage
 - A. Applied window graphics
 - B. Wall mounted plaques

Signage Calculation Guidelines:

The maximum sign area for each tenant shall be 3 square feet of sign face for each lineal foot of store frontage. Maximum square footage is limited to 175 sq. ft. Directional signage not included as part of maximum square footage. Secondary signage limited to end tenants and the sides of a building, Provided that signage fronts on a public street.

Signage Details and Specifications:

- i. **Address Signage:**

The suite number or building address needs be applied to the exterior facade as determined by the Landlord. The numbers must be visible to the street and color contrast to the facade for Visibility.

 - A. Letters to be dimensional metal
 - B. Flush to the architecture.
 - C. Mounted on the pier closest to the entrance.
 - D. Vinyl letters applied to glass not allowed
 - E. Address signs are required for each Tenant and not included in square area Calculations.

II. **Applied Window Graphics (Not to exceed 25%)** (Excluding "Operational Signs", which are addressed below):

- A. Only trade name or graphic logo may be used.
- B. Store description, advertisements, or tag lines not permitted.
- C. The entire graphic to be mounted above 48" from finished floor.
- D. All applied graphics to be adhered to interior side of glass.
- E. Applied window graphics are to be submitted to the Landlord and approved in writing prior to installation.
- F. A permit is required from the City of Pico Rivera prior to installation.



PICO RIVERA CENTER

MASTER SIGN PROGRAM

III. **Back Door Signs:**
Signs placed on the back entrance of Tenants for purposes of delivery and Access.

- A. Landlord will provide typical design for all back door signs.
- B. Maximum 4" high
- C. Painted aluminum plaque with vinyl to include suite number only. Name not permitted. No tag lines or slogans allowed.
- D. Mounted to access door.

II. Tenant Shops Zone General Signage Guidelines:

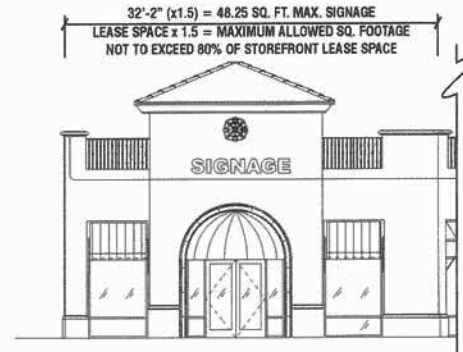
The signage in the Tenant Shops Zone will be similar to signage found in high-end retail streets. The signs will be rich, elegant and sophisticated. Materials in this district should include real metals.

Allowable Sign Types:

- 1. Primary Signage: Required
 - A. Single / Dual Illuminated Channel letters
 - B. Single / Dual Illuminated Channel / Logo plaques
 - C. Channel letters with exposed neon
 - D. Reverse pan channel halo lit individual dimensional letters
- 2. Optional Signage
 - A. Applied window graphics

Signage Calculation Guidelines

The maximum sign area for each tenant shall be 1.5 square feet of sign face for each Lineal Foot of store frontage.



1 CALCULATING ALLOWABLE SQUARE FOOTAGE OF SIGNAGE
SCALE: 3/32" = 1'-0"

PICO RIVERA CENTER

MASTER SIGN PROGRAM

I. Operational Signs:

Operational signage indicating hours of operation, telephone numbers, specialty rules and regulations is specific to each Tenant. Operational signs are required. No tag lines or slogans allowed.

- A. Maximum letter height of 3/4".
- B. Mounted to interior surface of glass, on or adjacent to entrance door and mounted no higher than 60".
- C. Total area of sign shall not exceed 6 square feet.

II. Storefront Signs:

- 1. Individual letters - Single / Dual illuminated channel letters
 - A. Channel letters are to be of painted metal.
 - B. Acrylic face must have translucent vinyl overlay.
 - C. No channel letters are to have only white acrylic face.
 - D. Channel depth to be no more than 5".
 - E. Dual illuminated channel letters to be peg mounted 2" maximum from face of wall.
- 2. Individual letters - Reverse pan channel - halo illumination
 - A. Reverse channel letters are to be of painted metal
 - B. All seams are to be welded and ground smooth.
 - C. Channel depth to be no more than 4"
 - D. Letter channels are to be peg mounted 2" maximum from face of Wall.
 - E. Peg mounts are to be threaded anchor bolts with round sleeves
And are to be painted the color of the fascia.

- 3. Individual letters - Open / Reverse pan channel - exposed neon illumination
 - A. Open / Reverse pan channel letter forms are to be of painted metal
 - B. All seams to be welded and ground smooth.
 - C. Inside of channel letter forms are to be painted a contrasting color from the building color.
 - D. Reverse pan channel letter form faces are to be painted a contrasting color from the building color
 - E. Neon tubes are to be double row or adequate number of rows to illuminate channel form, single tubes may be used at the discretion of the Landlord.
 - F. All neon fasteners, tube stands, mounts, and crossovers are to be painted to Match the face of channel letter form.
 - G. Letter channel returns are to be 5" maximum depth
 - H. Top surface of neon is to be mounted flush with front edges of Returns for open face pan channel letters.

III. Tenants Located in Multiple Zones:

- 1. When a tenant's facade is located in multiple signage "zones", the primary zones Dictates what signs are allowed.



PICO RIVERA CENTER

MASTER SIGN PROGRAM

Prohibited Sign Types:

- I. The following sign types and finishes shall be prohibited at Pico Rivera Center
 - A. Illuminated sign boxes, unless approved by Landlord and City of Pico Rivera and explicitly incorporated within the Master Sign Plan for specific tenants.
 - B. Interior signage meant to be viewed from the exterior of the store.
 - C. Signs with tag lines, slogans, phone numbers, service description, or advertising.
 - D. Signs with exposed raceways, conduit, junction boxes, transformers, visible lamps, tubing, or neon crossovers of any type.
 - E. Rotating, animated and flashing signs except within the Theatre District
 - F. Vehicle signs, except for the identification of a business enterprise or advertisement upon a vehicle used primarily for business purposes, provided the identification is affixed in a permanent manner.
 - G. Signs attached, painted on, or otherwise affixed to trees, other living vegetation, landscaping or natural materials.
 - H. Signs attached, painted or otherwise affixed to awnings, tents or umbrellas, however, such signs may be permitted in conjunction with special design review by the Landlord.
 - I. Balloons and inflatable signs.
 - J. Any signs including freestanding signs advertising the availability of employment opportunities.
 - K. Signs which emit sound, odor or visible matter.
 - L. Signs which bear or contain statements, words or pictures of an obscene, pornographic or immoral character, as deemed so by the Landlord.
 - M. Fluorescent or reflective sign colors.
 - N. Simulated materials, i.e. Wood grained plastic laminate, wall covering, paper, Cardboard or foam.

Calculating Signage Area:

Copy area shall be computed by surrounding each graphic element with an eight-point shape, calculating the area contained within the shape, and then computing the sum of the areas. Elements such as swashes, simple lines or other decorative touches must be included within limits of the geometric shape and shall be included as part of the copy area.

Letter height shall be determined by measuring the tallest letter of a tenant's identity, inclusive of swashes, ascenders, and descenders.



PICO RIVERA CENTER

MASTER SIGN PROGRAM

General Signage Design Guidelines:

I. Design Objective:

- A. The primary objective of the sign design criteria is to generate high quality, creative tenant signage. Tenants are encouraged to combine a variety of materials, lighting methods, colors, typestyles, and graphic elements for unique storefront signage at Pico Rivera Center.
- B. Signs may be located above or adjacent to entries or storefronts only; exceptions will be considered for corner tenants.
- C. All sign concepts are to be generated from "camera-ready" logo artwork prepared by a professional graphic designer, and submitted to the Landlord for approval prior to concept development of any sign.
- D. Signs that incorporate creative logos or graphic elements along with the business identity are encouraged.
- E. Store name to consist of "Trade Name" only. Tag lines, bylines, merchandise or service descriptions are not allowed.
- F. Signs, copy and graphic elements shall fit comfortably into sign area, leaving sufficient margins and negative space on all sides. Wall signs shall appear balanced and in scale within the context of the sign space and the building as a whole. Thickness, height, and color of sign lettering shall be visually balanced and in proportion to other signs on the building. In all cases, the copy area shall maintain a margin at least 6" from any edge of the sign face area.
- G. Dimensional letters and plaques shall be affixed without visible means of attachment, unless attachments make an intentional design statement and are approved by the Landlord.
- H. Any special conditions or deviations from the guidelines in this sign criteria are to be Approved in writing after submittal to the Landlord.

II. Typestyles:

Tenants may adapt established typestyles, logos and / or images that are in use on similar buildings operated by them, provided that said images are architecturally compatible and approved by the Landlord. Type may be arranged in multiple lines of copy and may consist of upper and / or lower case letters.

III. Lighting:

The use of creative signage lighting is expected and encouraged with the following Criteria:

- A. Where signs are internally illuminated, light-transmitting surfaces shall be non-gloss, matte materials.
- B. Only letters and logos shall transmit light while the background remains solid opaque. No illuminated background or boxes are allowed.
- C. Lighting for all tenant signs shall be turned off after closing or reduced no later than 1:00am.
- D. Exposed fixtures, shades, or other elements are to contribute to the design of the sign
- E. All exposed or skeletal neon must be backed with an opaque coating, and be approved in writing by the Landlord. All housings and posts for exposed neon signs must be painted out to match the sign background immediately behind.
- F. Exposed raceways (unless design elements), conduit, junction boxes, transformers, lamps, tubing, or neon crossovers of any type are prohibited.

IV. Colors:

- A. The color of the letter face and letter return may be the same, multi-colored letters are allowed.
- B. Color of letter face and / or returns are to contrast with building colors for good Daytime readability.
- C. The interior of open channel letters is to be painted dark when against light backgrounds.
- D. The interior of open channel letters is to be painted light when against dark backgrounds.
- E. All sign colors are subject to review and approval by the Landlord as part of The tenant signage submittal.

V. Materials:

- A. Acceptable sign material treatments are:
 - 1. Dimensional geometric shapes coated or burnished for variety in color And texture
 - 2. Painted metal
 - 3. Screens, grids, or mesh
 - 4. Etched or brushed metal
 - 5. Cut, abraded, or fabricated steel or aluminum
 - 6. Dimensional letter forms with seamless edge treatments
 - 7. Glass



PICO RIVERA CENTER

MASTER SIGN PROGRAM

Construction Requirements:

I. General:

- A. All sign shall be designed, installed, illuminated, located, and maintained in accordance with the provisions set forth in these regulations and all other applicable codes and ordinances.
- B. All signs must meet all standards set forth by Pico Rivera Center Sign Criteria and must be approved by the Landlord before permit submittal.
- C. The Landlord does not accept the responsibility of checking for compliance with any codes having jurisdiction over the Pico Rivera Center nor for the safety of any sign, but only for aesthetic compliance with this sign criteria and its intent.

II. Fabrication Requirements:

- A. All sign fabrication work shall be of excellent quality and identical of Class A Workmanship. All logo images and typestyles shall be accurately reproduced. Lettering that approximates typestyles shall not be acceptable. The Landlord reserves the right to reject any fabrication work deemed to be below standard.
- B. Signs must be made of durable rust-inhibiting materials that are appropriate and complementary to the design of Pico Rivera Center.
- C. All formed metal, such as letter forms, shall be fabricated using full-weld construction with all joints ground smooth.
- D. All ferrous and non-ferrous metals shall be separated with non-conductive gaskets to prevent electrolysis. In addition to gaskets, stainless steel fasteners shall be used to secure ferrous to non-ferrous metals.
- E. Threaded rods or anchor bolts shall be used to mount sign letters, which are spaced out from background panel and must be finished to blend with the adjacent surface. Angle clips will not be permitted.
- F. Paint colors and finishes must be reviewed and approved by the Landlord. Color coating shall exactly match the colors specified on the approved plans.
- G. Surfaces with color mixes and hues prone to fading (e.g., Pastels, complex mixtures, intense reds, yellows and purples) shall be coated with ultraviolet-inhibiting clear coat in a matte or semi-gloss finish.
- H. Joining of materials (e.g., Seams) shall be finished in such a way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.
- I. Finished surfaces of metal shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.

- J. All lighting must match the exact specifications of the approved working drawings.
- K. Surface brightness of all illuminated materials shall be consistent in all letters and components of the signs. Light leaks will not be permitted.
- L. All conduit, raceways, crossovers, wiring, ballast boxes, transformers, and other equipment necessary of sign connection shall be concealed. All bolts, fastenings and clips shall consist of enameling iron with porcelain enamel finish; stainless steel, anodized aluminum, brass or bronze; or carbon-bearing steel with painted finish. No black iron material will be allowed.
- M. Underwriter's Laboratory - approved labels shall be affixed to all electrical fixtures. Fabrication and installation of electrical signs shall comply with UBC, NEC, and local building and electrical codes.
- N. Penetrations into building wall, where required, shall be made waterproof and warranted as such by the tenant's sign contractor.
- O. Location of all openings for conduit sleeves and support in sign panels and building walls shall be indicated by the sign contractor on the above shop drawings submitted to the Landlord. Sign contractor shall install same in accordance with the approved drawings.
- P. In no case shall any manufacturer's label be visible from the street or from normal viewing angles.
- Q. Signs illuminated with neon shall use 30 m.a. Transformers.



PICO RIVERA CENTER

MASTER SIGN PROGRAM

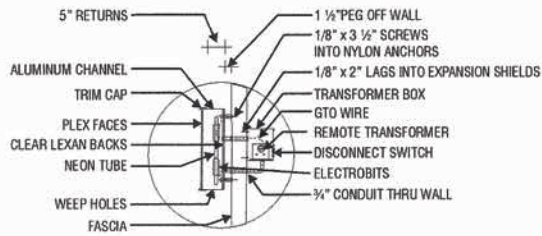
Approvals of Tenant Signage:

- I. Artwork Submittals:
 - A. All sign concepts are to be generated from "camera-ready" logo artwork prepared by a professional graphic designer, and submitted to the Landlord for approval prior to development of any signage.
- II. Concept Drawing Submittal:
 - A. Prior to shop drawings and sign fabrication, tenant shall submit for Landlord approval three sets of concept drawings reflecting the design of all sign types.
 - B. Sign concept drawings are to be submitted concurrently with storefront design and awning design. Partial submittals will not be Accepted.
- III. Shop Drawing Submittal:
 - A. Upon approval of concept plans in writing from Landlord, three complete sets of shop drawings are to be submitted for Landlord approval, including:
 1. Fully-dimensioned and scaled shop drawings specifying exact dimensions, copy layout, typestyles, materials, colors, means of attachment, electrical specifications, and all other details of construction.
 2. Elevations of storefront showing design, location, size and layout of sign drawn to scale indicating dimensions, attachment devised and construction detail.
 3. Sample board showing colors and materials including building fascia, letter faces, returns, and other details may be required by the Landlord.
 4. Section through letter and / or sign panel showing the dimensioned projection of the face of the letter and / or sign panel and the illumination.
 5. Full-size line diagram of letters and logo may be requested for approval if deemed necessary by the Landlord.
 - B. All Tenant sign shop drawing submittals shall be reviewed by the Landlord for conformance with the sign criteria and with the concept design as approved by the Landlord.
 - C. Within fifteen (15) working days after receipt of tenant's working drawings, Landlord shall either approve the submittal contingent upon any required modifications or disapprove tenant's sign submittal, which approval or disapproval shall remain the sole right and discretion of the Landlord. The Tenant must continue to resubmit revised plans until approval is obtained. A full set of final shop drawings must be approved and stamped by the Landlord prior to permit application or sign fabrication.
- D. Requests to establish signs that vary from the provisions of this sign criteria shall be submitted to the Landlord for approval. The Landlord may approve signs that depart from the specific provisions and constraints of the Sign Plan in order to:
 - A. Encourage exceptional sign design and creativity.
 - B. Accommodate imaginative, unique, and otherwise tasteful signage that is deemed to be within the spirit and intent of the sign criteria.
- E. Following Landlord's approval of sign shop drawings, Tenant or his agent shall submit to the City of Pico Rivera sign plans signed by the Landlord and applications for all permits for fabrication and installation by Sign Contractor. Tenant shall furnish the Landlord with a copy of said permits prior to installation of Tenant's sign.
- F. Signs shall be inspected upon installation to assure conformance. Any work unacceptable shall be corrected or modified at the Tenant's expense as required by the Landlord.



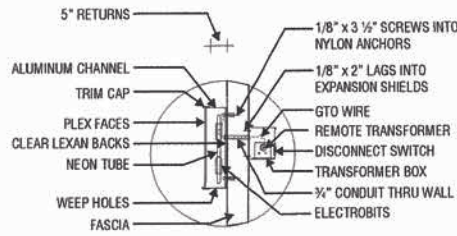
PICO RIVERA CENTER

MASTER SIGN PROGRAM



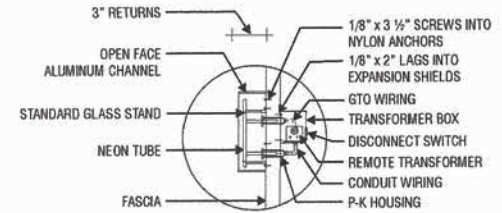
SECTION A

PLEX FACE CHANNEL LETTERS / DUAL ILLUMINATION



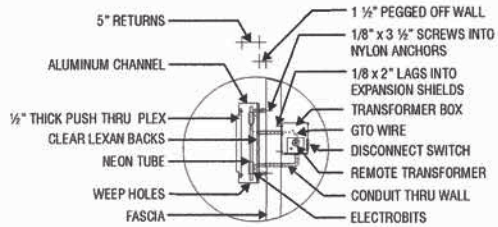
SECTION D

PLEX FACE CHANNEL LETTERS



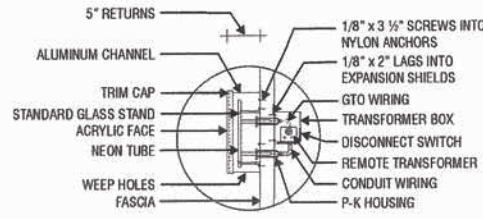
SECTION F

OPEN FACE CHANNEL LETTERS



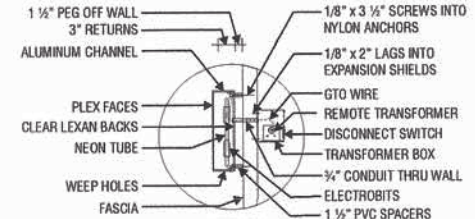
SECTION B

REVERSE CHANNEL DUAL ILLUMINATED / ROUTED FACE PUSH THRU PLEX



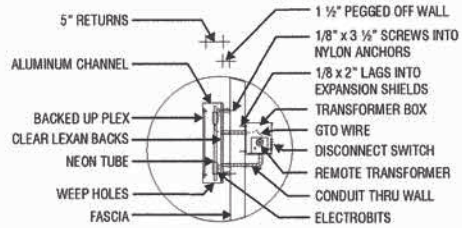
SECTION E

PLEX FACE CHANNEL LETTERS / P-K HOUSINGS



SECTION G

REVERSE HALO CHANNEL LETTERS



SECTION C

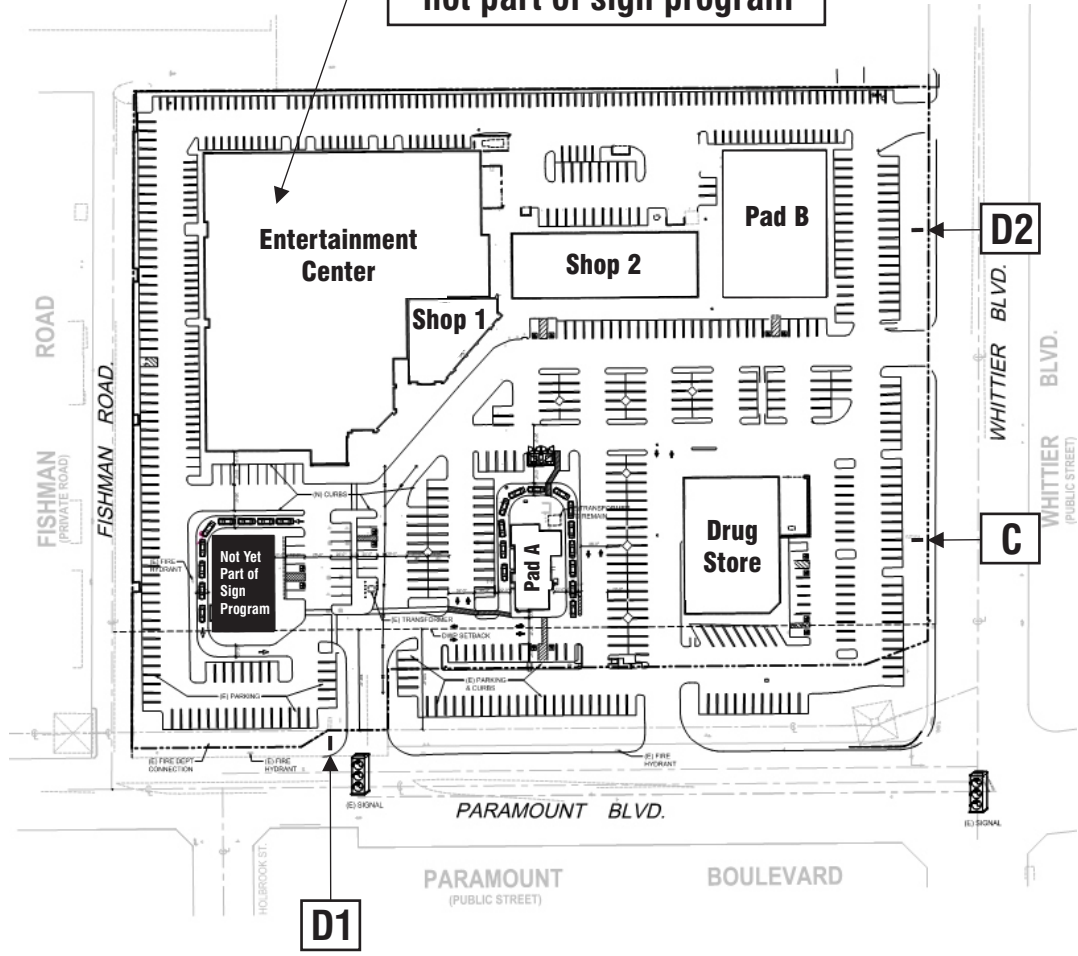
REVERSE CHANNEL DUAL ILLUMINATED / ROUTED FACE BACKED UP PLEX





NORTH

Entertainment Center is not part of sign program



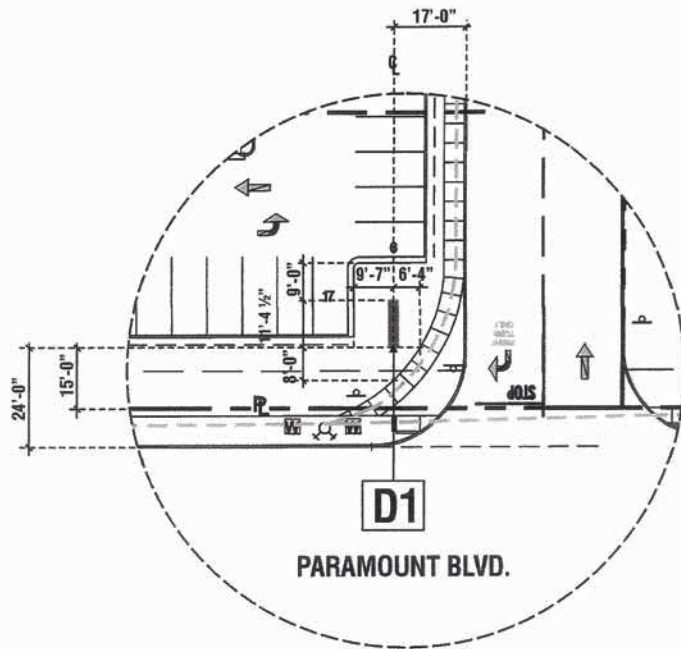
1 SITE PLAN

200 Sq. Ft.

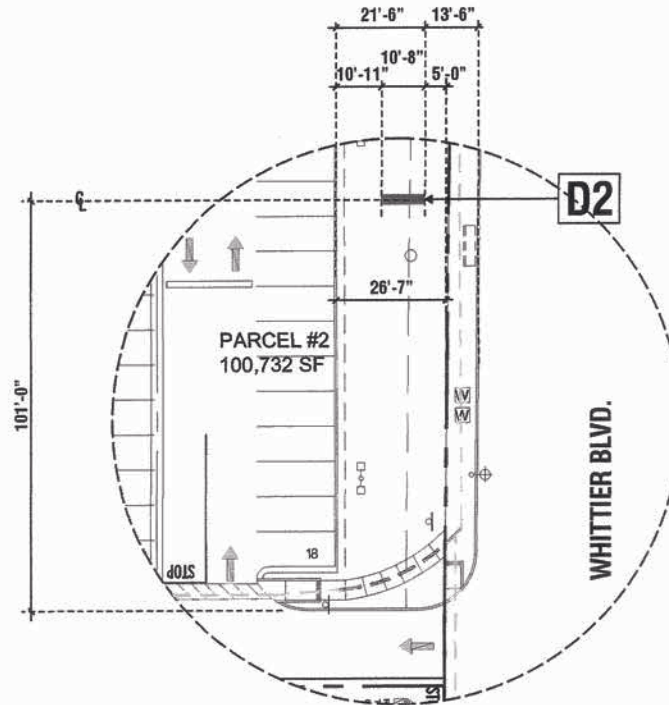
SCALE: NTS



PICO RIVERA CENTER MASTER SIGN PROGRAM



1 SITE PLAN DETAIL - SIGN ON PARAMOUNT BLVD. APPROXIMATE SCALE: 1"=30'-0"



2 SITE PLAN DETAIL - SIGN ON WHITTIER BLVD. APPROXIMATE SCALE: 1"=30'-0"

**PICO RIVERA CENTER
MASTER SIGN PROGRAM**

MAXIMUM 80 PERCENT OF FASCIA LENGTH

MAXIMUM
4'-0"
LETTERS

MAJOR TENANT

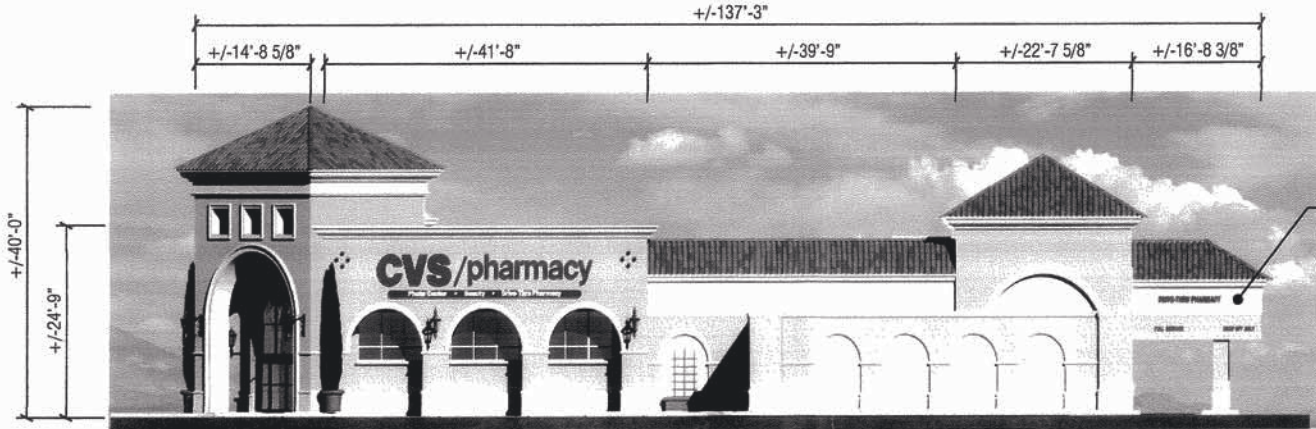
MAXIMUM
3'-0"
LETTERS

MINOR TENANT

MAJOR TENANT: MAXIMUM PRIMARY AND SECONDARY SIGN AREA NOT TO EXCEED 175 SQUARE FEET, MAXIMUM LETTER HEIGHT 4'-0" FEET. SIGN AREA TO BE CALCULATED AT 3 SQUARE FEET OF SIGN PER LINEAL FOOT OF LEASED PREMISES. MAJOR TENANTS ARE DEFINED BY A LEASE SPACE OF BETWEEN 25,000 AND 60,000 SQUARE FEET.

MINOR TENANT: THE SAME APPLIES TO MINOR TENANTS WITH THE FOLLOWING EXCEPTIONS: SIGN AREA TO BE CALCULATED AT 1.5 SQUARE FEET OF SIGN PER LINEAL FOOT OF LEASED PREMISES. MAXIMUM LETTER HEIGHT IS 3'-0". MAXIMUM SIGN AREA 175 SQUARE FEET.

NOTE: ALL TENANTS TO SUBMIT PRECISE DIMENSIONS FOR PERMIT ISSUANCE.



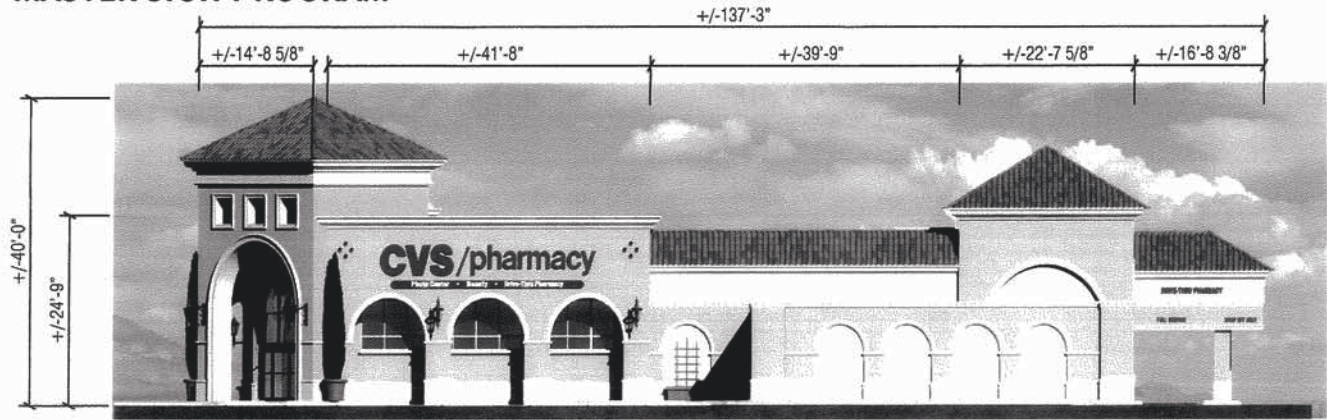
MAJOR BUILDING ELEVATION

SCALE: 1/16" = 1'-0"



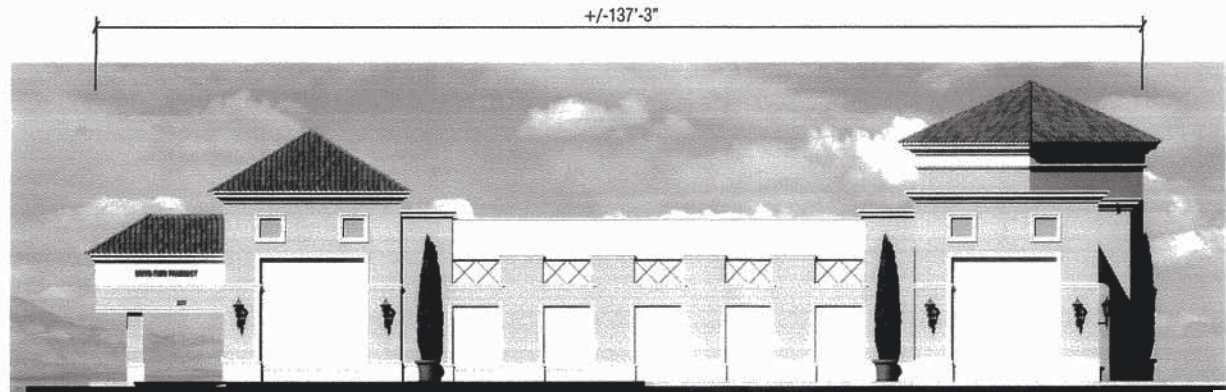
PICO RIVERA CENTER

MASTER SIGN PROGRAM



NORTH (RIGHT) ELEVATION - MAJOR BUILDING / DRUG STORE

SCALE: 1/16" = 1'-0"



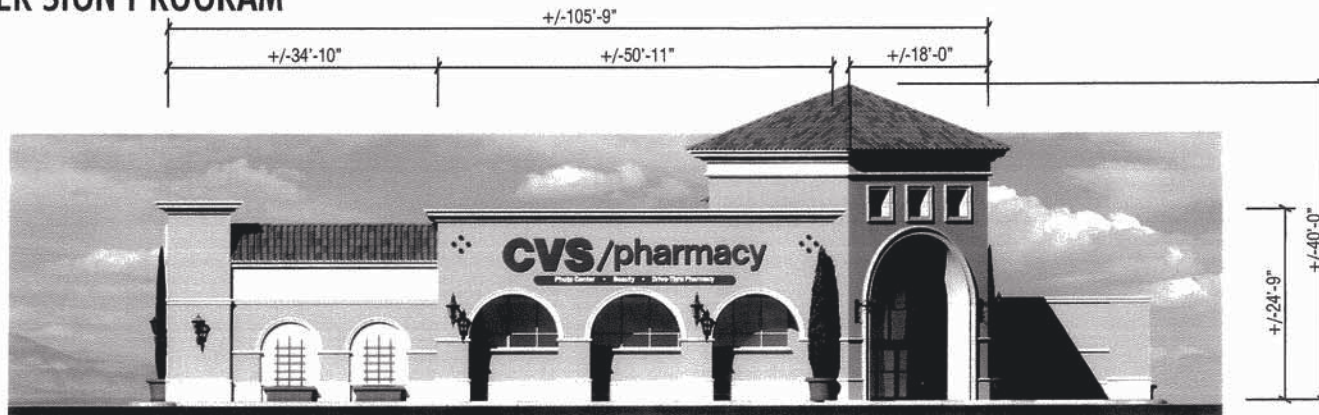
SOUTH (LEFT) ELEVATION - MAJOR BUILDINGS / DRUG STORE

SCALE: 1/16" = 1'-0"



PICO RIVERA CENTER

MASTER SIGN PROGRAM



EAST (FRONT) ELEVATION - MAJOR BUILDING / DRUG STORE

SCALE: 1/16" = 1'-0"



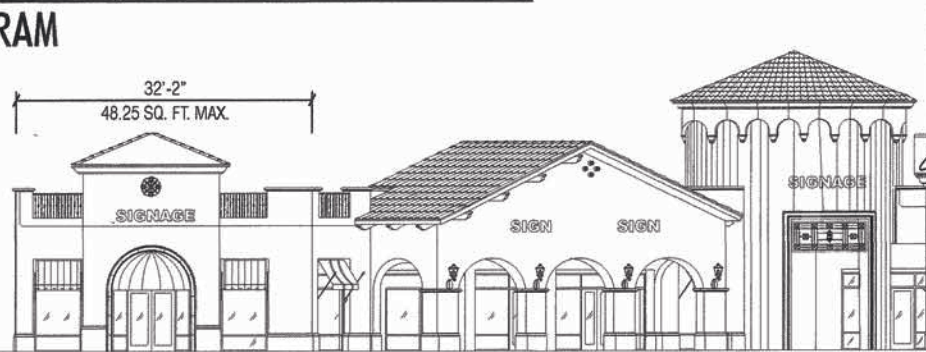
WEST (REAR) ELEVATION - MAJOR BUILDING / DRUG STORE

SCALE: 1/16" = 1'-0"



PICO RIVERA CENTER

MASTER SIGN PROGRAM



SHOP (MINOR) TENANTS
NORTHEAST ELEVATION / SHOPS 1

SCALE: 1/16" = 1'-0"

1

32'-2" (x1.5) = 48.25 SQ. FT. MAX. SIGNAGE
LEASE SPACE x 1.5 = MAXIMUM ALLOWED SQ. FOOTAGE
NOT TO EXCEED 80% OF STOREFRONT LENGTH



CLOSE-UP SAMPLE: CALCULATING ALLOWABLE SQUARE FOOTAGE OF SIGNAGE

SCALE: 3/32" = 1'-0"

2

PICO RIVERA CENTER

MASTER SIGN PROGRAM



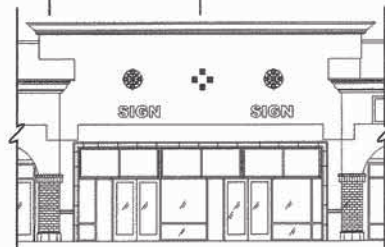
1

SHOP (MINOR) TENANTS
EAST (FRONT) ELEVATION / SHOPS 2

SCALE: 1/16" = 1'-0"

NOT TO EXCEED
80% OF STOREFRONT LENGTH

LEASE SPACE x 1.5 =
MAX. SQ. FOOTAGE



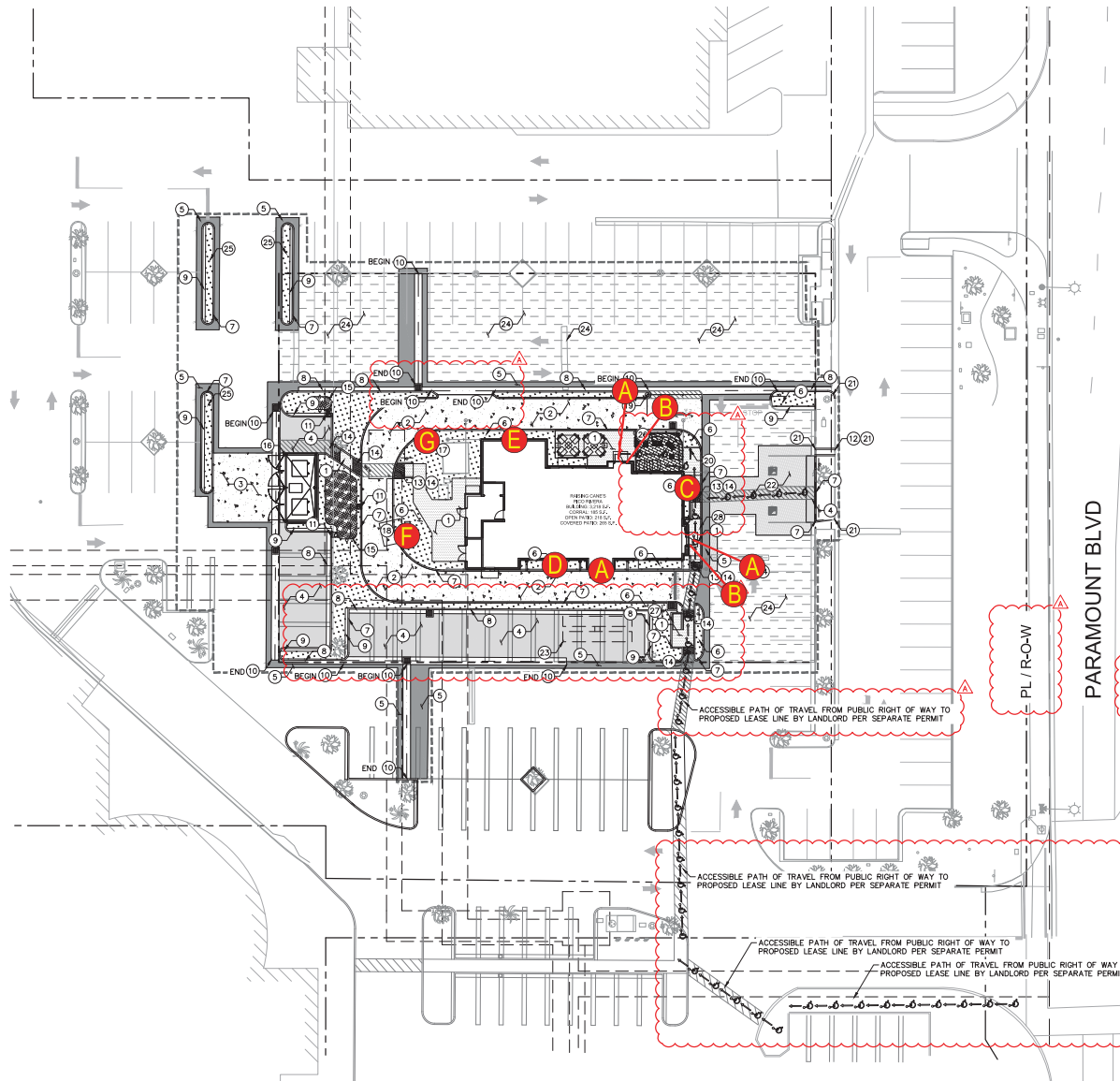
2

CLOSE-UP SAMPLE: CALCULATING ALLOWABLE SQUARE FOOTAGE OF SIGNAGE (TYPICAL) SCALE: 1/16" = 1'-0"

PICO RIVERA CENTER MASTER SIGN PROGRAM

Pad A is to comply with signage as stipulated within the provided elevations and specifications. Any modification shall require a revision to the Master Sign Plan, along with required Building Plan Check.

Pad A Site Plan

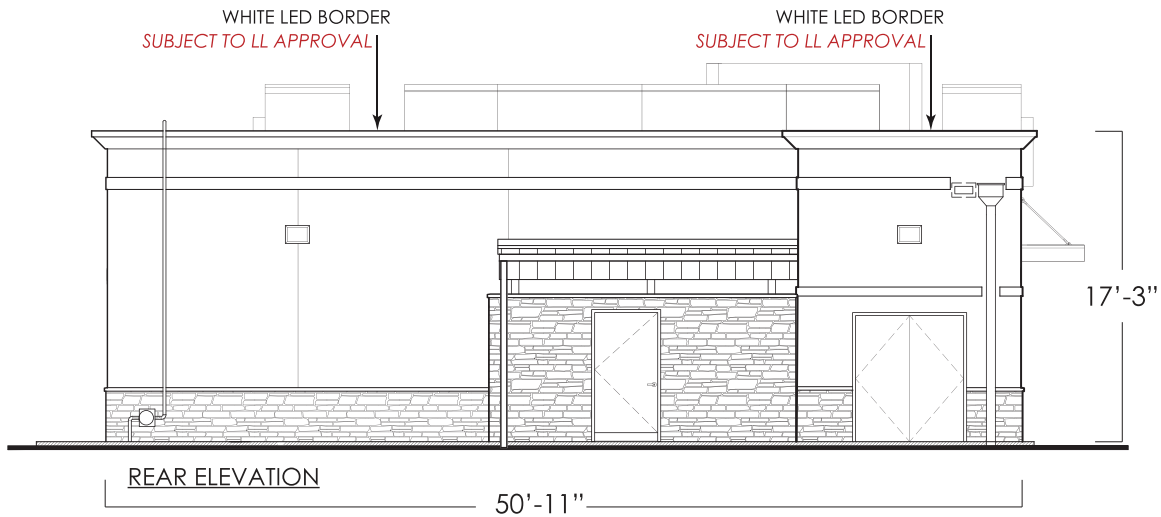


	QTY.	CODE	DESCRIPTION
A	3	WS-8FT	4 x 8 Wall Sign
B	2	ONS	Open Sign
C	1	CFNS	Chicken Fingers Sign
D	1	PMRL	Painted Mural
E	1	BD-1	Blue Dog
F	1	DTMB	DT Menuboard & Awning
G	1	PSB	Presell Board

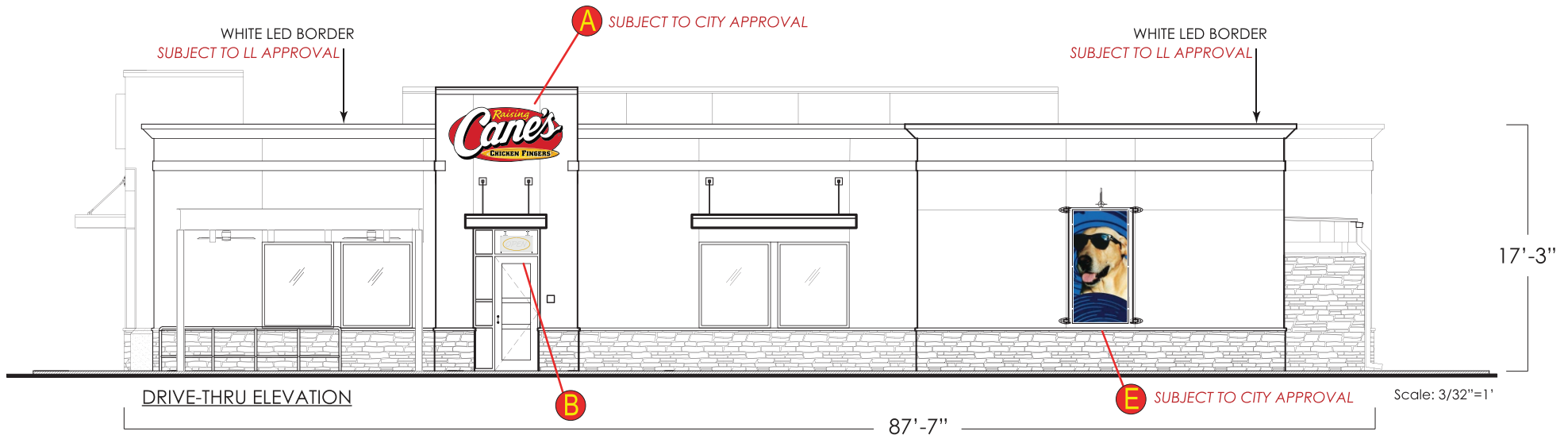
PICO RIVERA CENTER MASTER SIGN PROGRAM

Pad A is to comply with signage as stipulated within the provided elevations and specifications. Any modification shall require a revision to the Master Sign Plan, along with required Building Plan Check.

PAD A ELEVATIONS



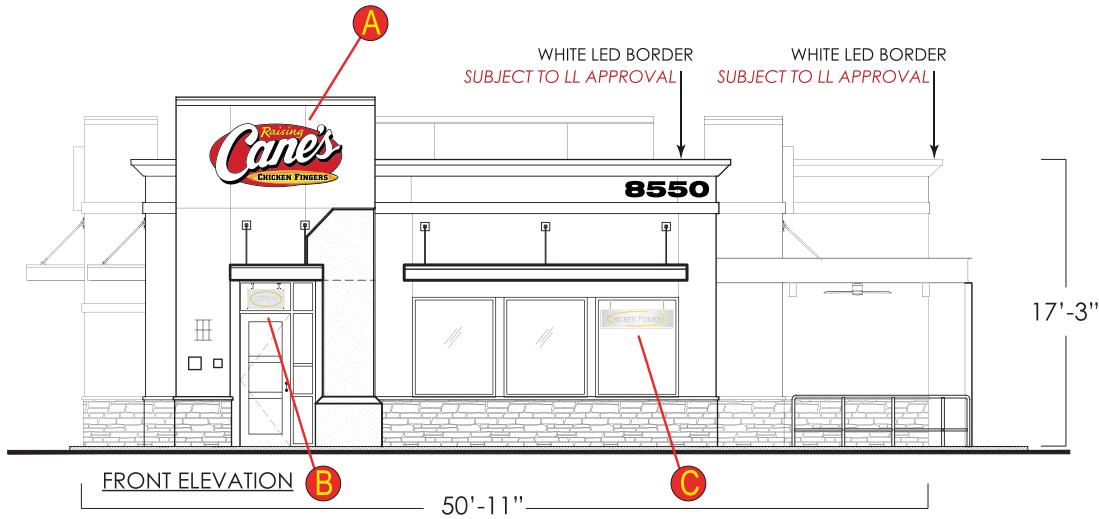
	QTY.	CODE	DESCRIPTION
A	3	WS-8FT	4 x 8 Wall Sign
B	1	ONS	Open Sign
C	1	CFNS	Chicken Fingers Sign
D	1	PMRL	Painted Mural
E	1	BD-1	Blue Dog



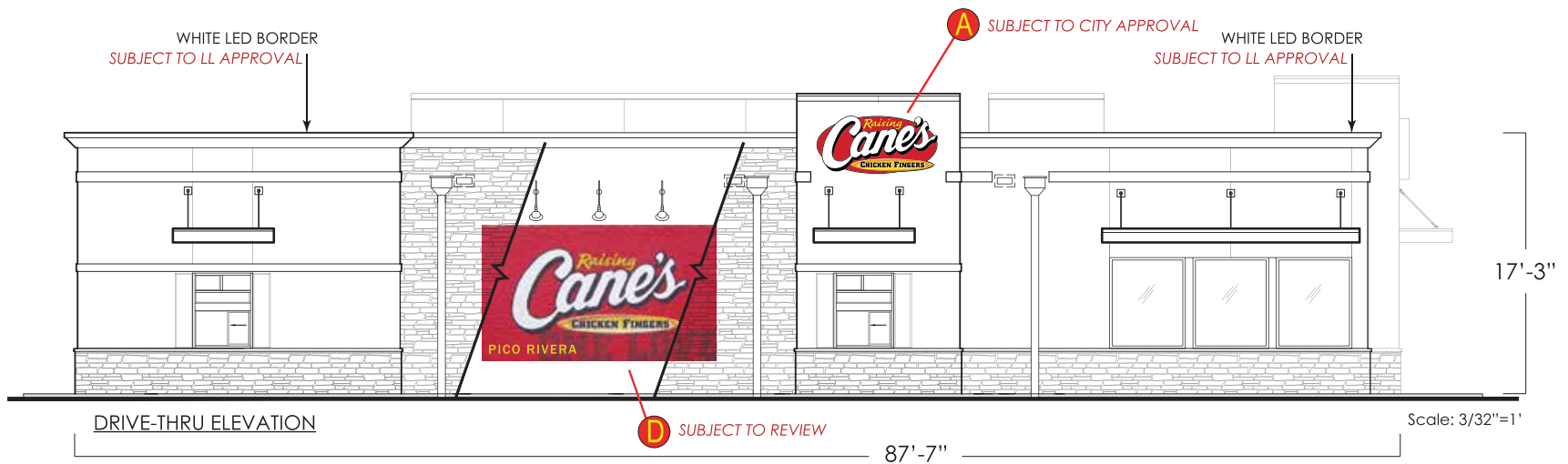
PICO RIVERA CENTER MASTER SIGN PROGRAM

Pad A is to comply with signage as stipulated within the provided elevations and specifications. Any modification shall require a revision to the Master Sign Plan, along with required Building Plan Check.

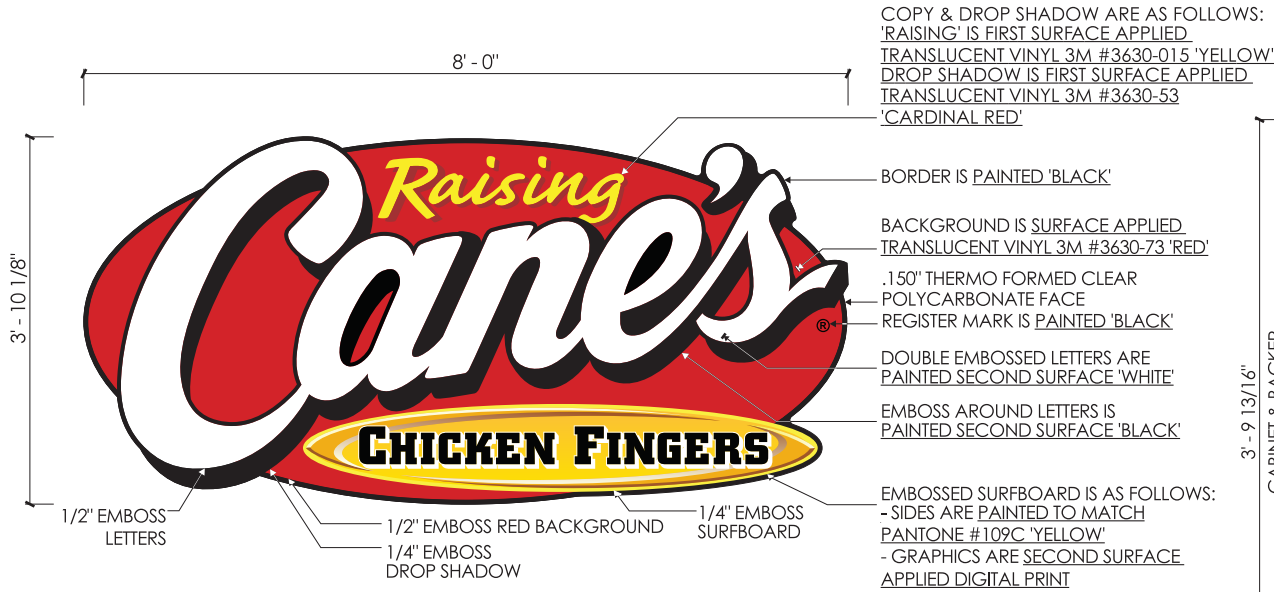
PAD A ELEVATIONS



QTY.	CODE	DESCRIPTION
A	WS-8FT	4 x 8 Wall Sign
B	ONS	Open Sign
C	CFNS	Chicken Fingers Sign
D	PMRL	Painted Mural



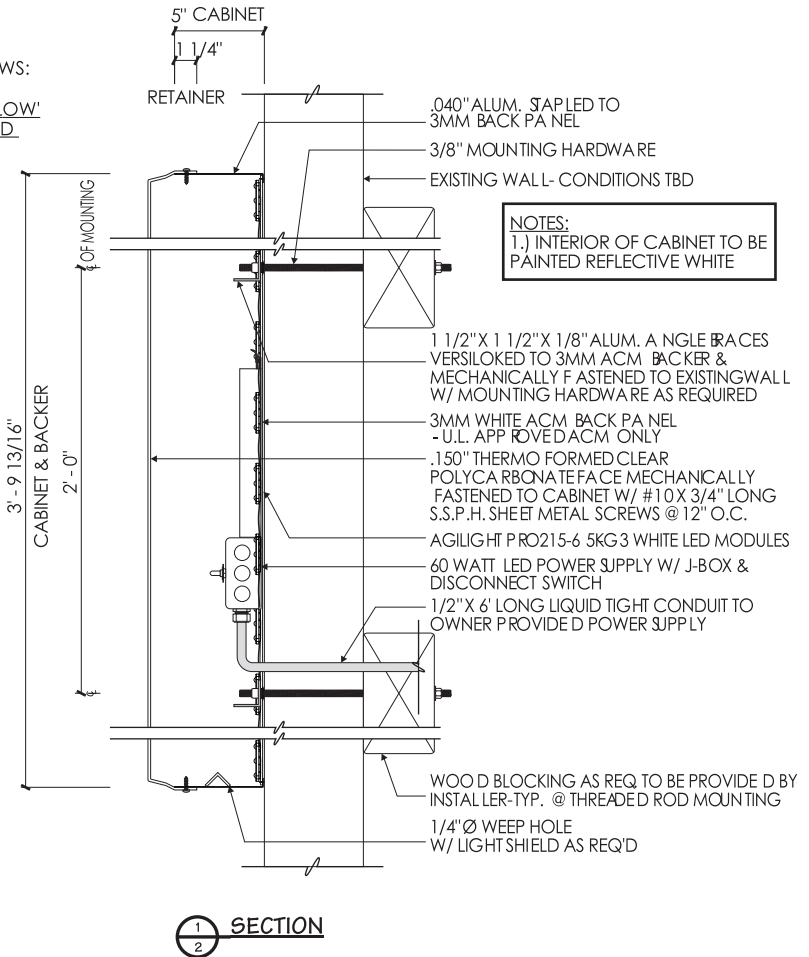
PICO RIVERA CENTER MASTER SIGN PROGRAM



1 1 FRONT ELEVATION

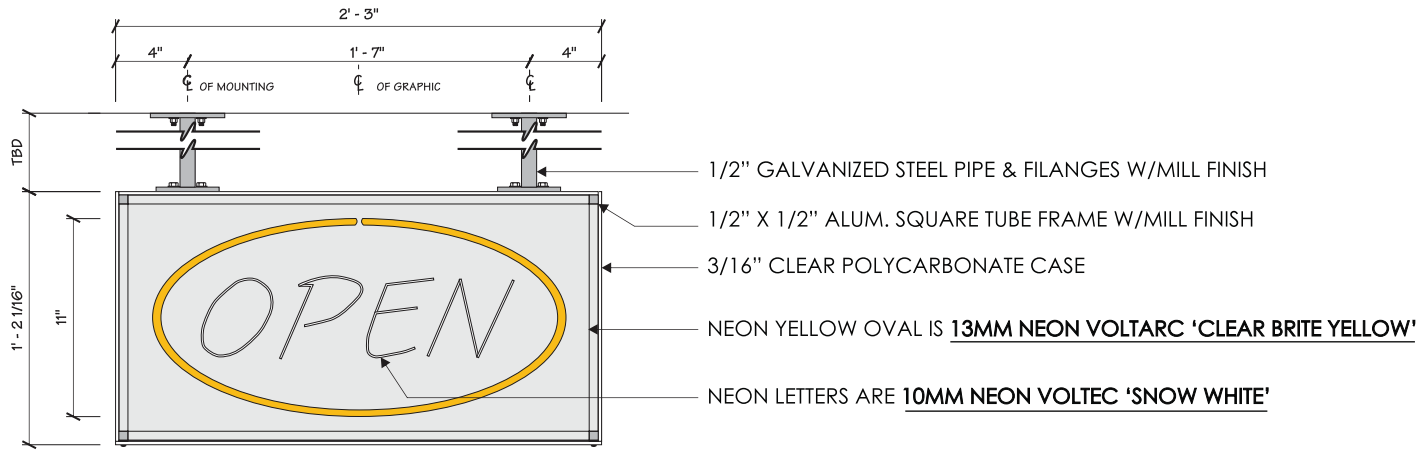
30.75

Square Footage

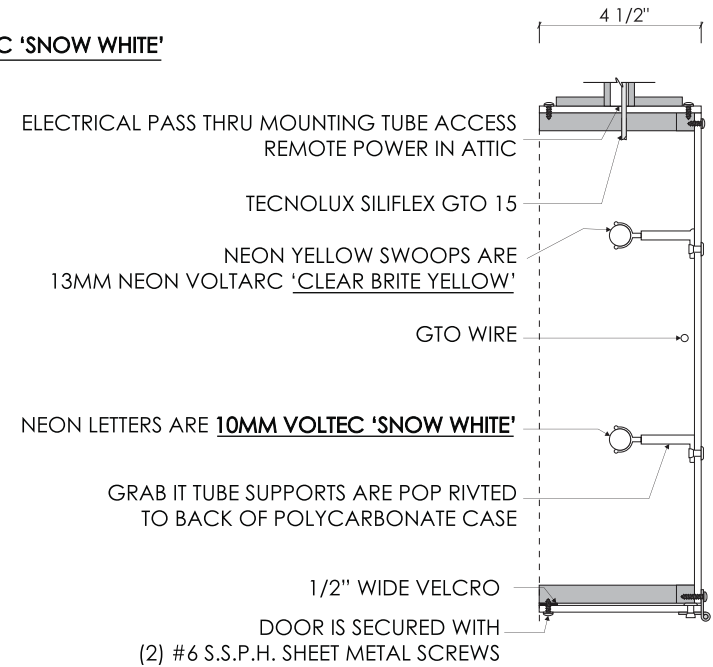
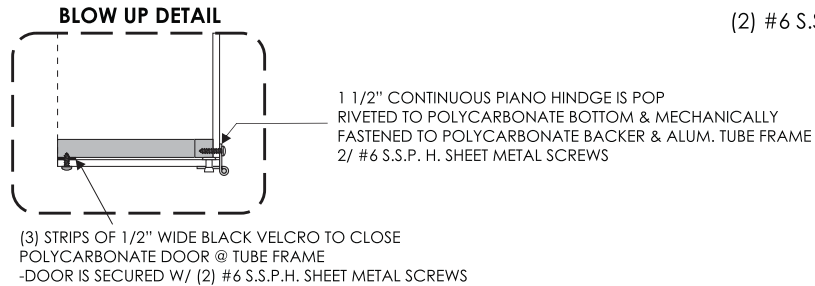
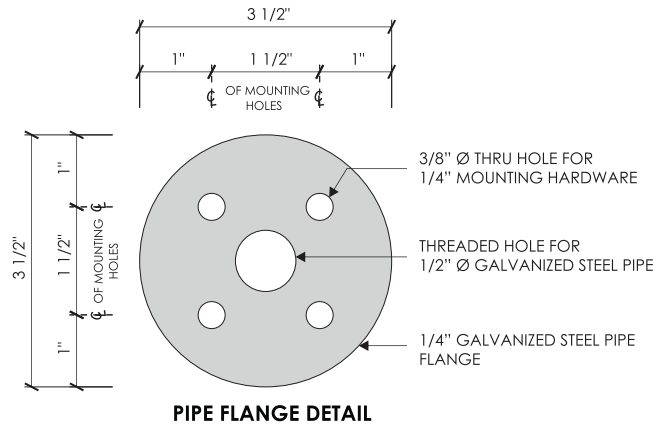
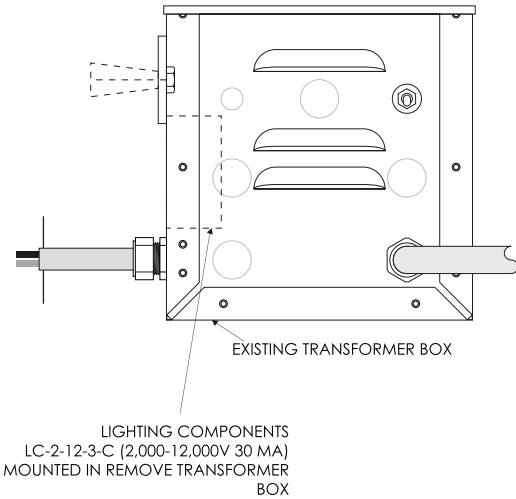


ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	1.8

COLOR CHART	
	3M #3630-15 'YELLOW'
	3M #3630-73 'RED'
	3M #3630-53 'CARDINAL RED'

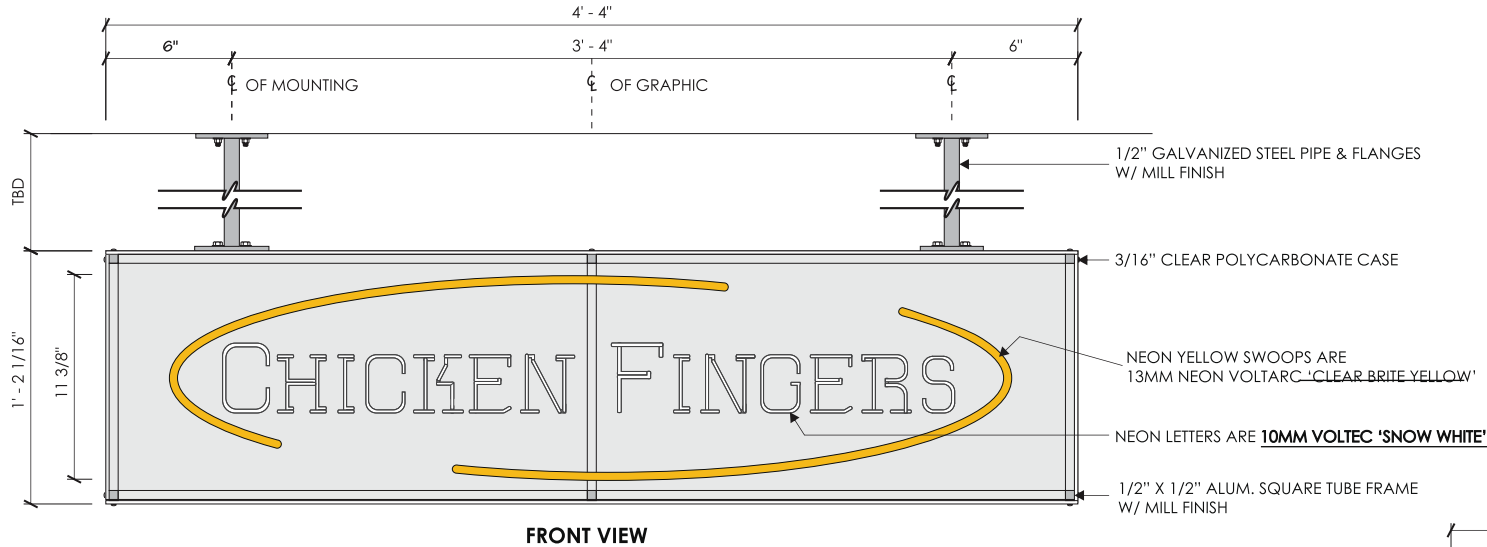


NOTES:
 1.) TRANSFORMER IS MOUNTED REMOTELY
 2.) CONNECT 14 GA GROUND WIRE TO EACH MOUNTING FLANGE & TO GROUND LUG PROVIDED BY TRANSFORMER.
 -CONNECT TRANSFORMER GROUND TO SERVICE GROUND AT PANEL BOX

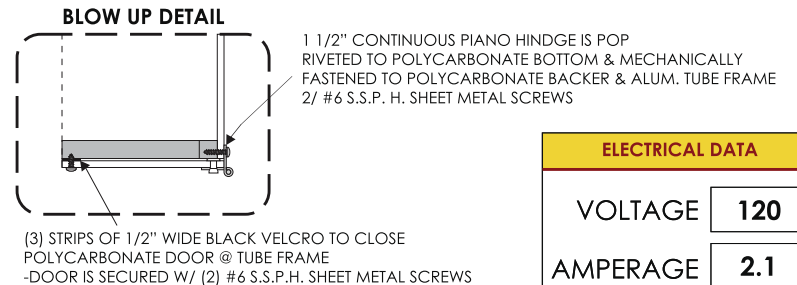
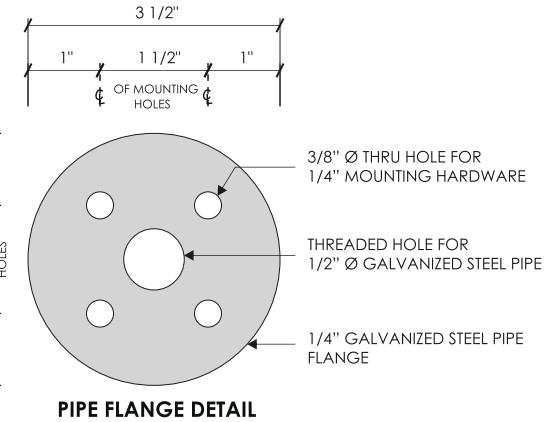
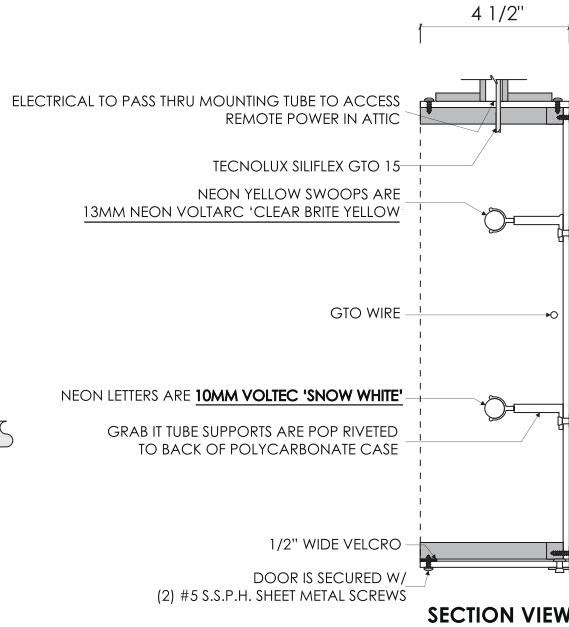
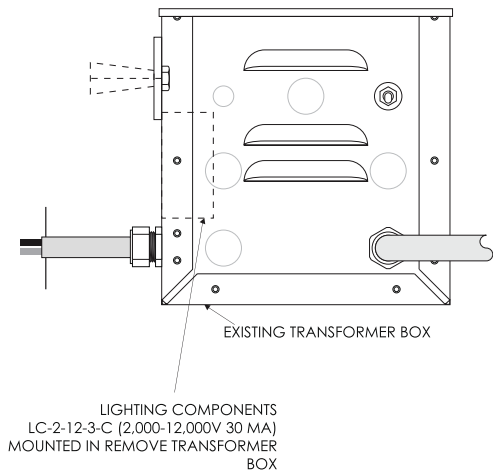


ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	2.1

PICO RIVERA CENTER MASTER SIGN PROGRAM



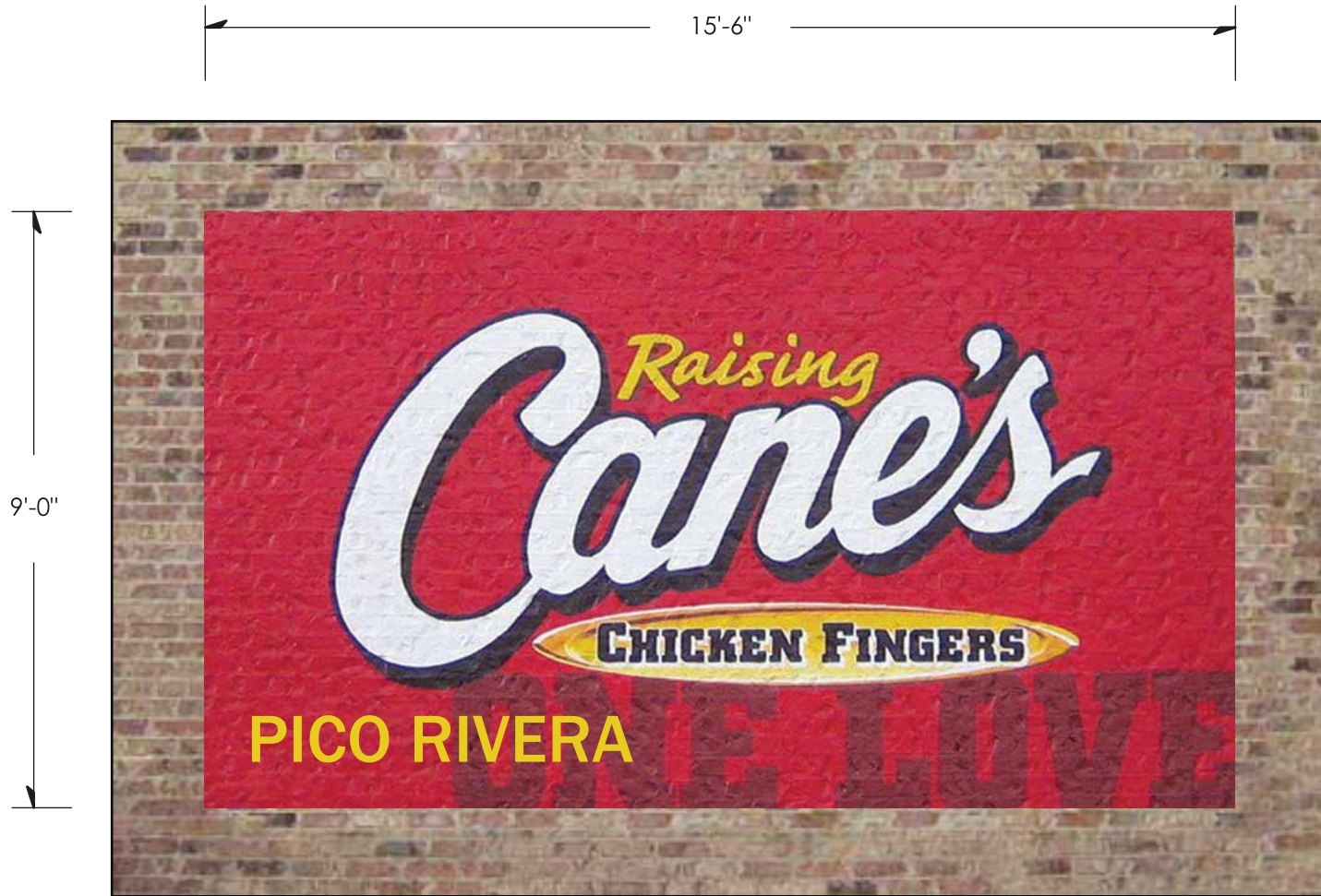
- NOTES:**
- 1.) TRANSFORMER IS MOUNTED REMOTELY
 - 2.) CONNECT 14 GA GROUND WIRE TO EACH MOUNTING FLANGE & TO GROUND LUG PROVIDED BY TRANSFORMER.
 - CONNECT TRANSFORMER GROUND TO SERVICE GROUND AT PANEL BOX



ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	2.1

**PICO RIVERA CENTER
MASTER SIGN PROGRAM**

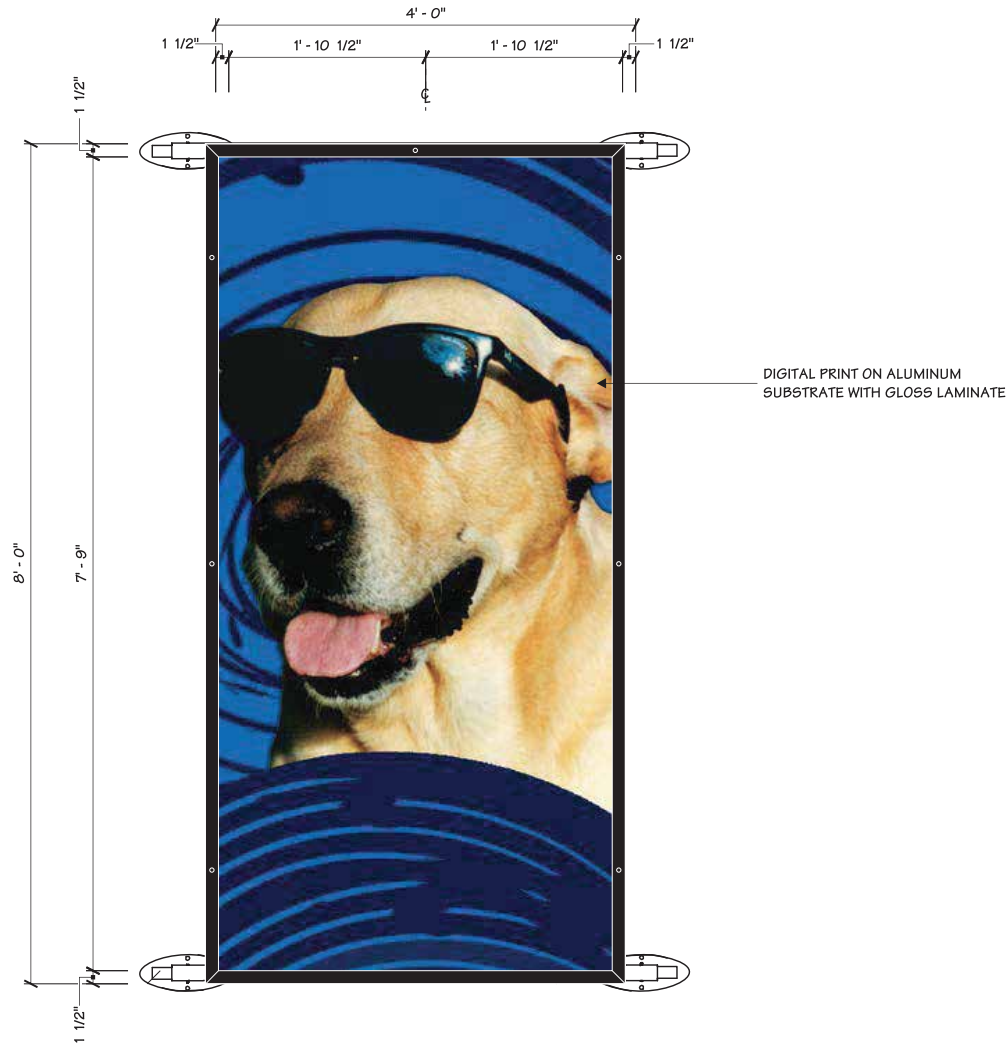
Sign **D**



139.50

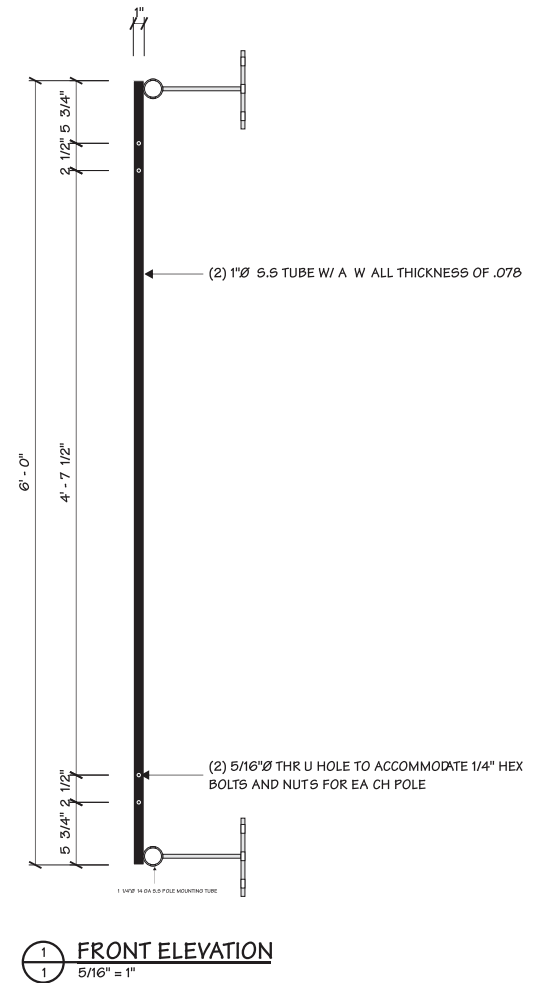
Square Footage

PICO RIVERA CENTER MASTER SIGN PROGRAM



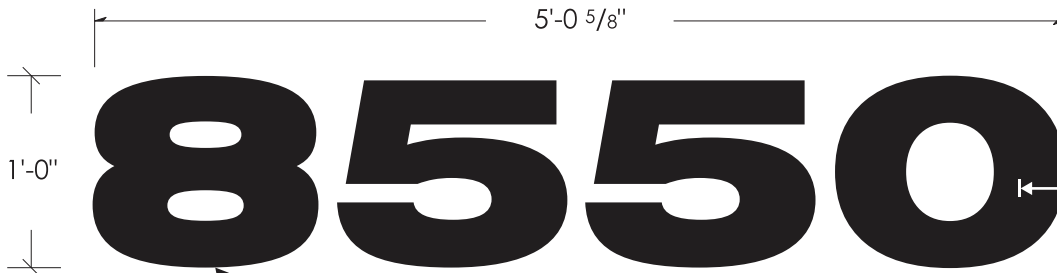
32.00

Square Footage



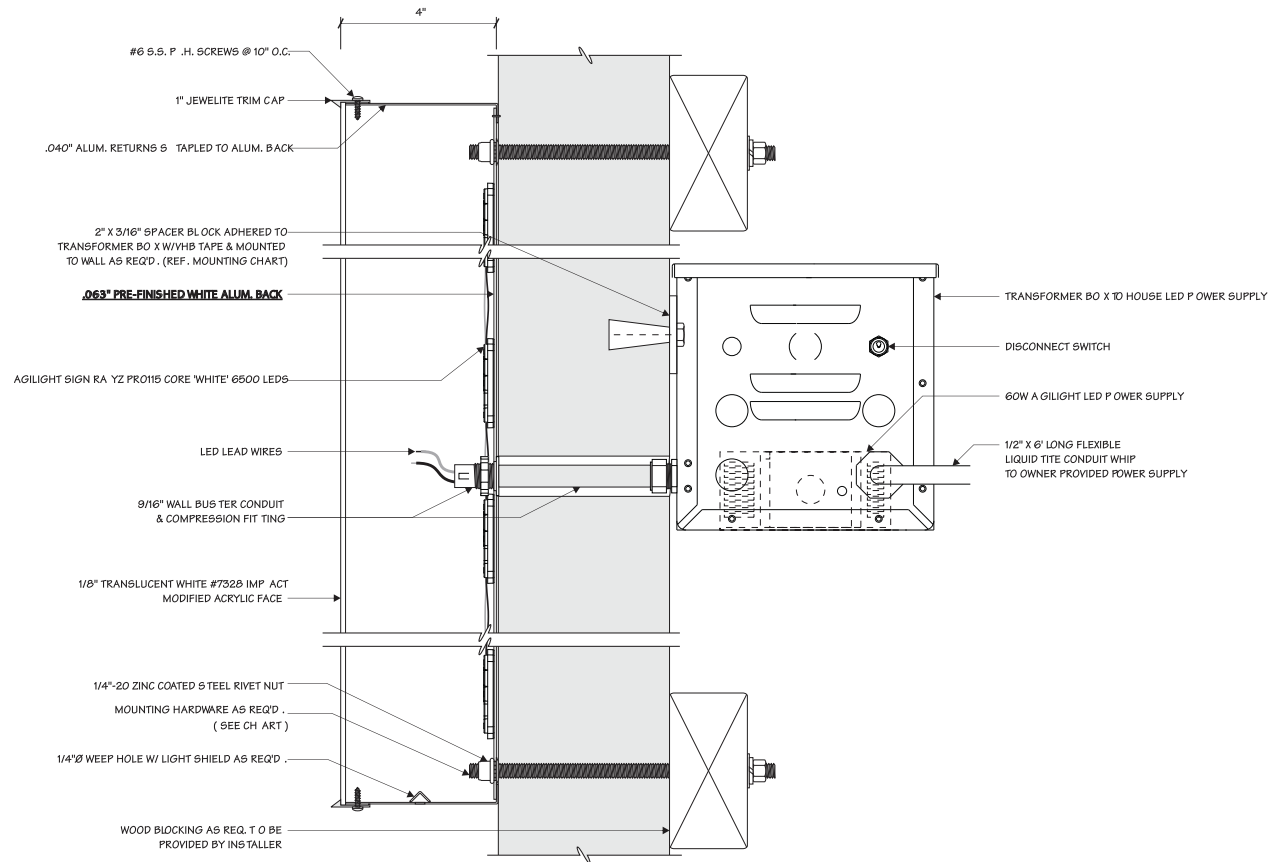
PICO RIVERA CENTER MASTER SIGN PROGRAM

Address Numerals



1/8" TRANSLUCENT WHITE #7328
IMPACT MODIFIED ACRYLIC FACE
W/ SURFACE APPLIED BLACK PERFORATED VINYL
'BLACK DAY/WHITE NIGHT'
- FONT STYLE IS SWISS 721 BLKEX BT

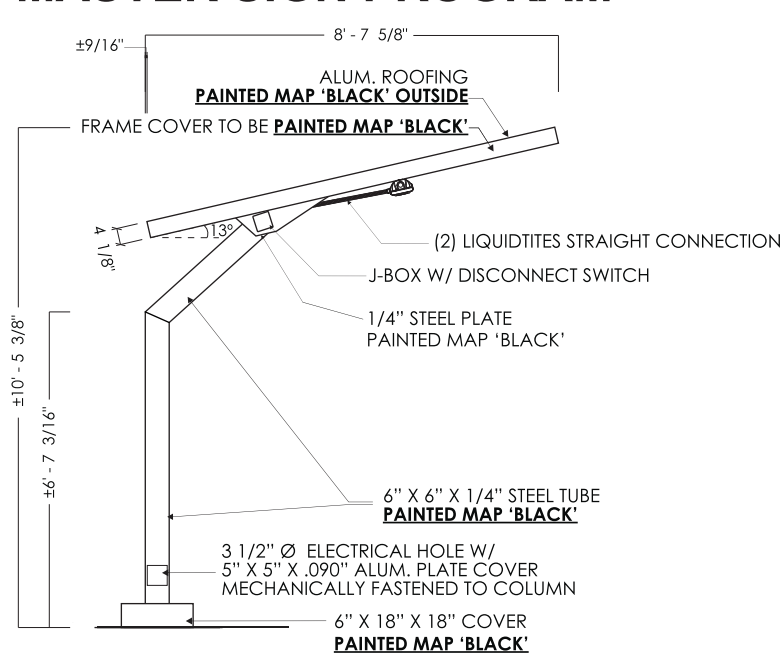
FABRICATED ALUM. CHANNEL LETTERS
W/ **PRE FINISHED 'BLACK' RETURNS &
PRE FINISHED 'WHITE' BACK**



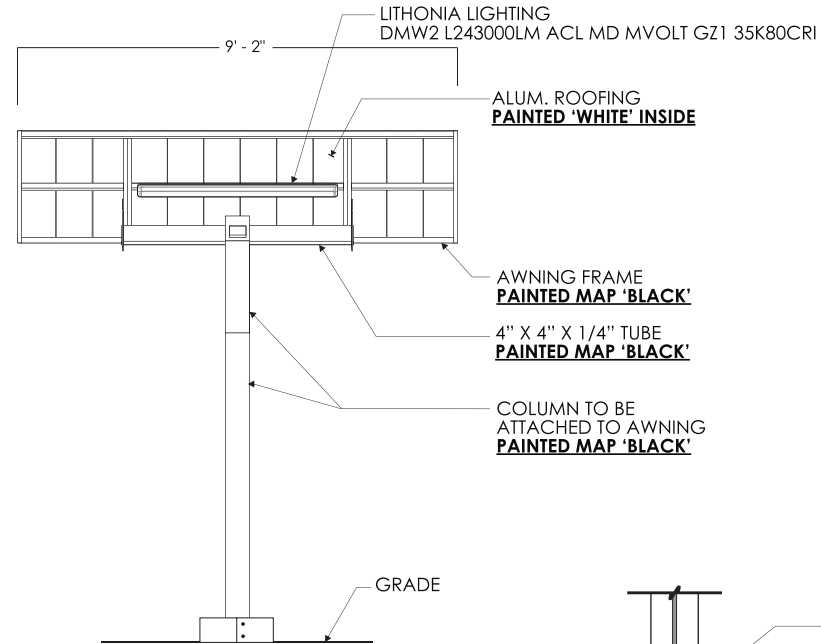
PICO RIVERA CENTER MASTER SIGN PROGRAM



Drive Thru Awning



SIDE VIEW



FRONT VIEW

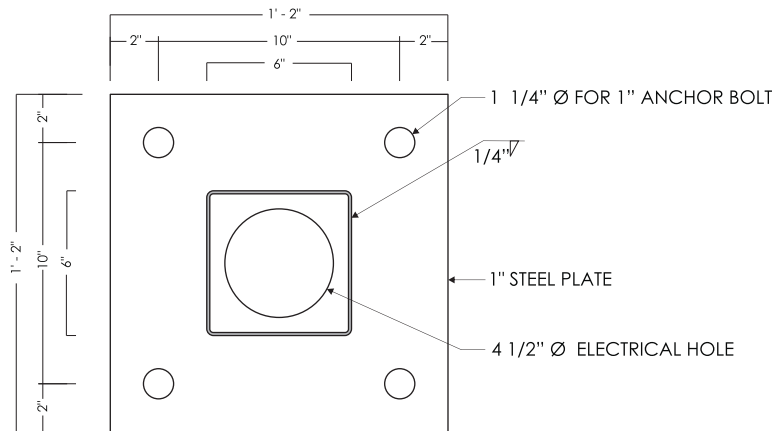
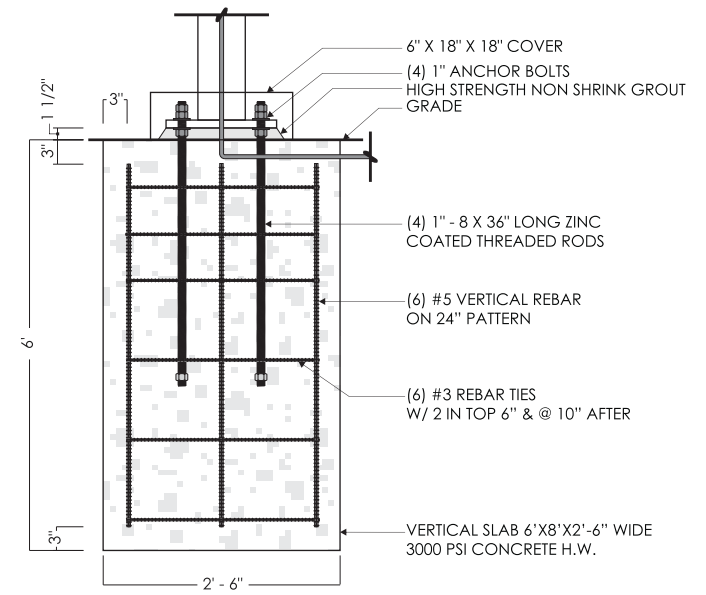


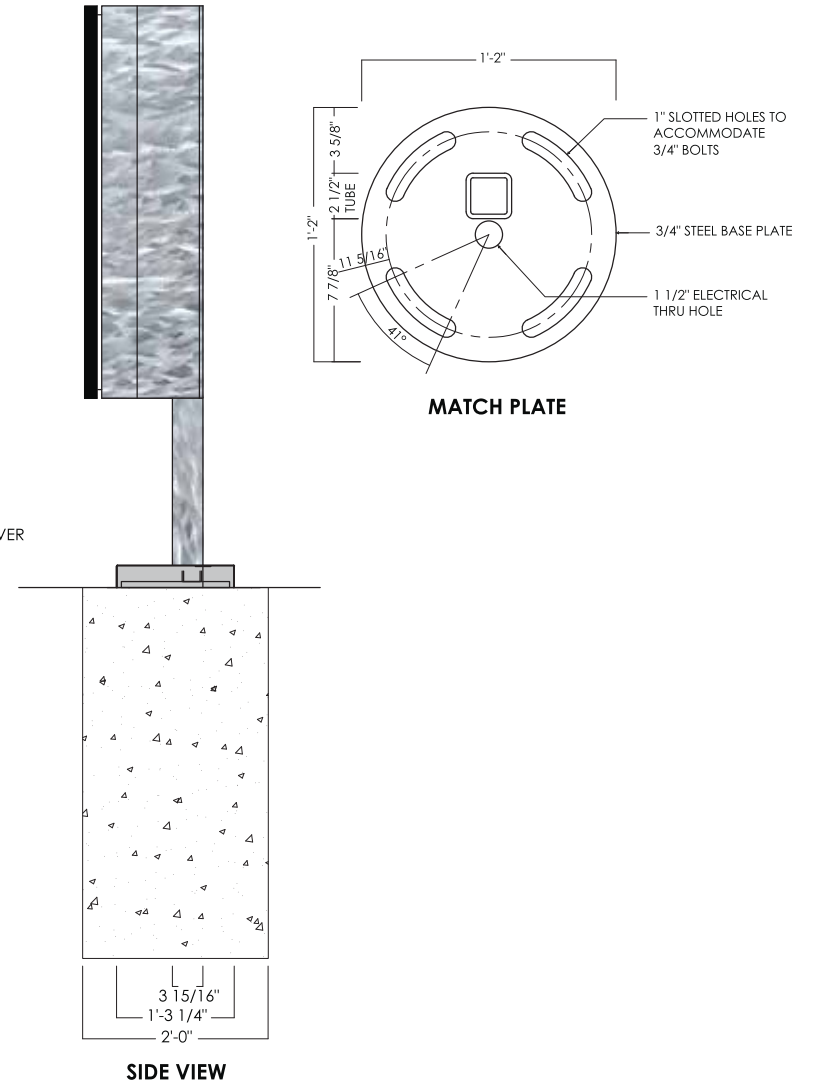
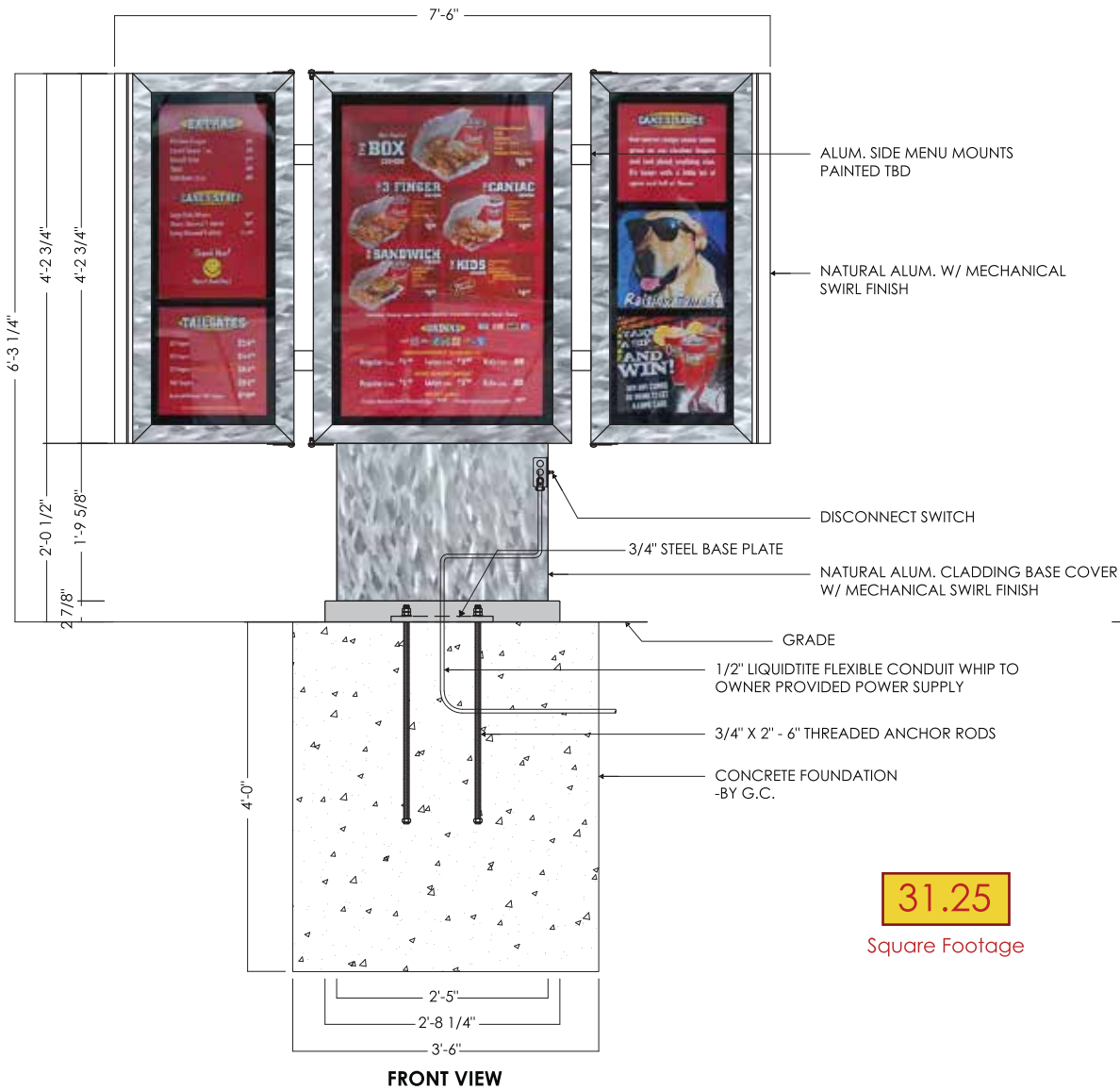
PLATE VIEW

ELECTRICAL DATA	
VOLTAGE	120
AMPERAGE	0.5

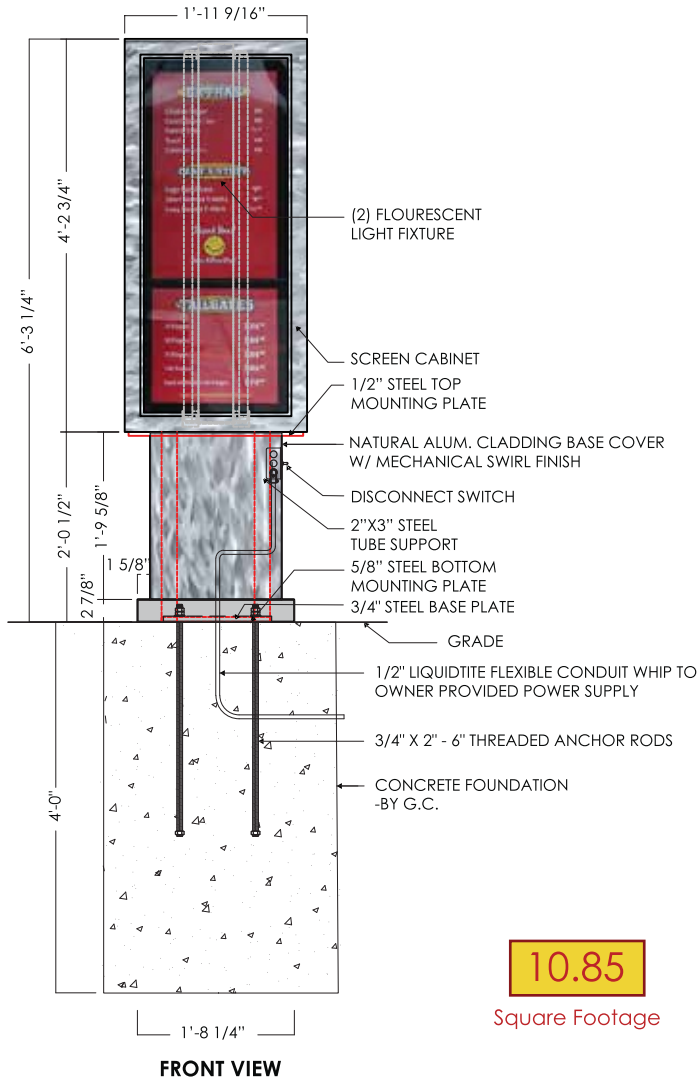


FOUNDATION

PICO RIVERA CENTER MASTER SIGN PROGRAM

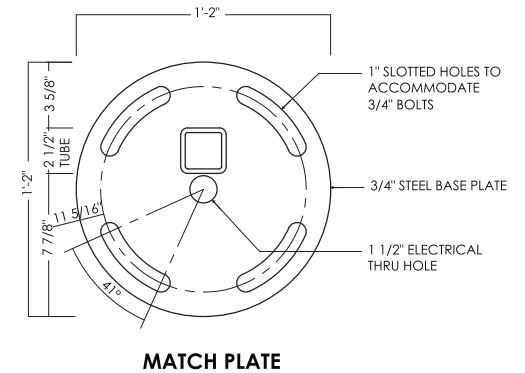
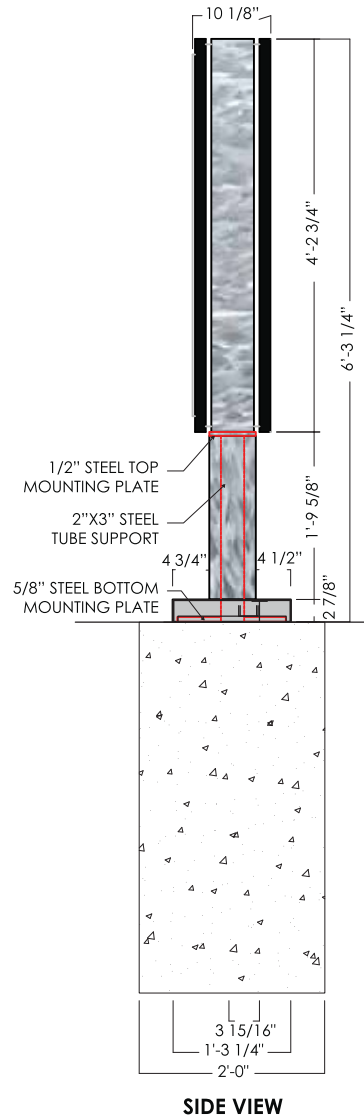


PICO RIVERA CENTER MASTER SIGN PROGRAM



10.85

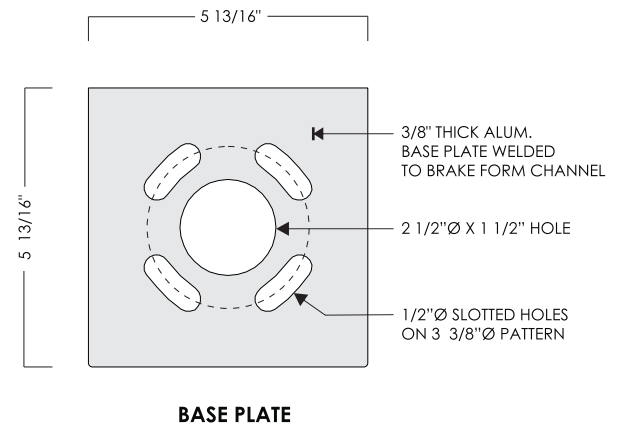
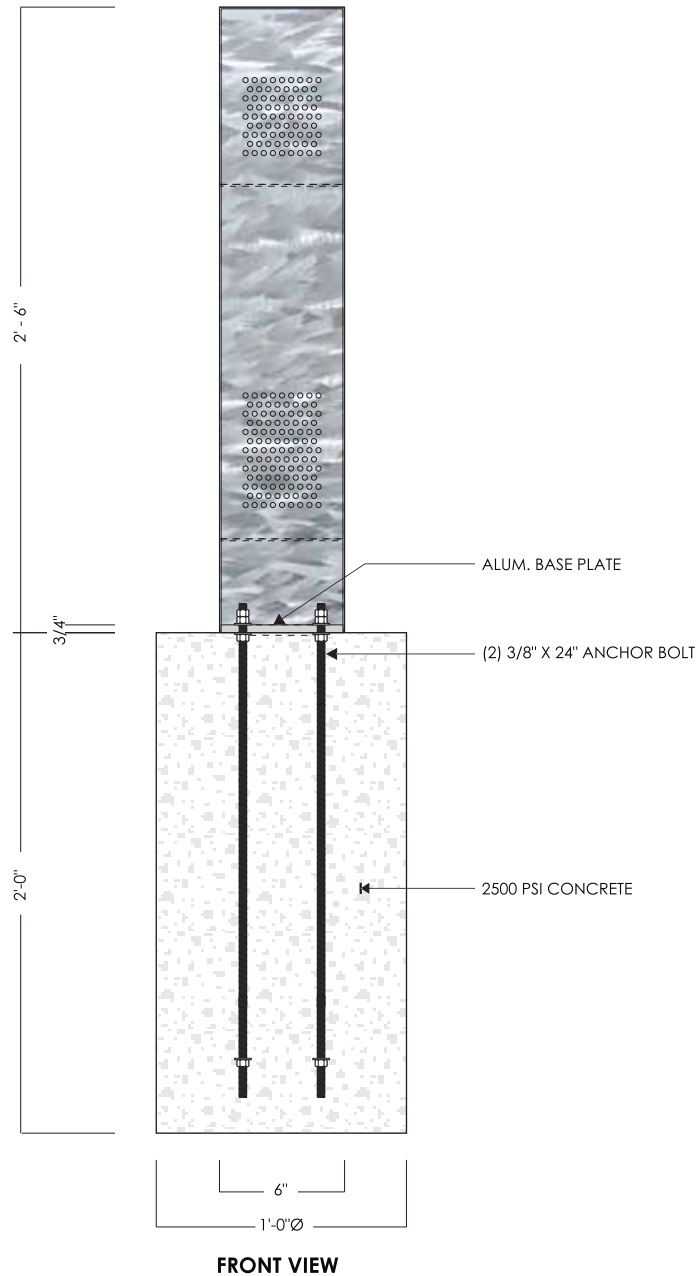
Square Footage



PICO RIVERA CENTER MASTER SIGN PROGRAM

Speaker Post

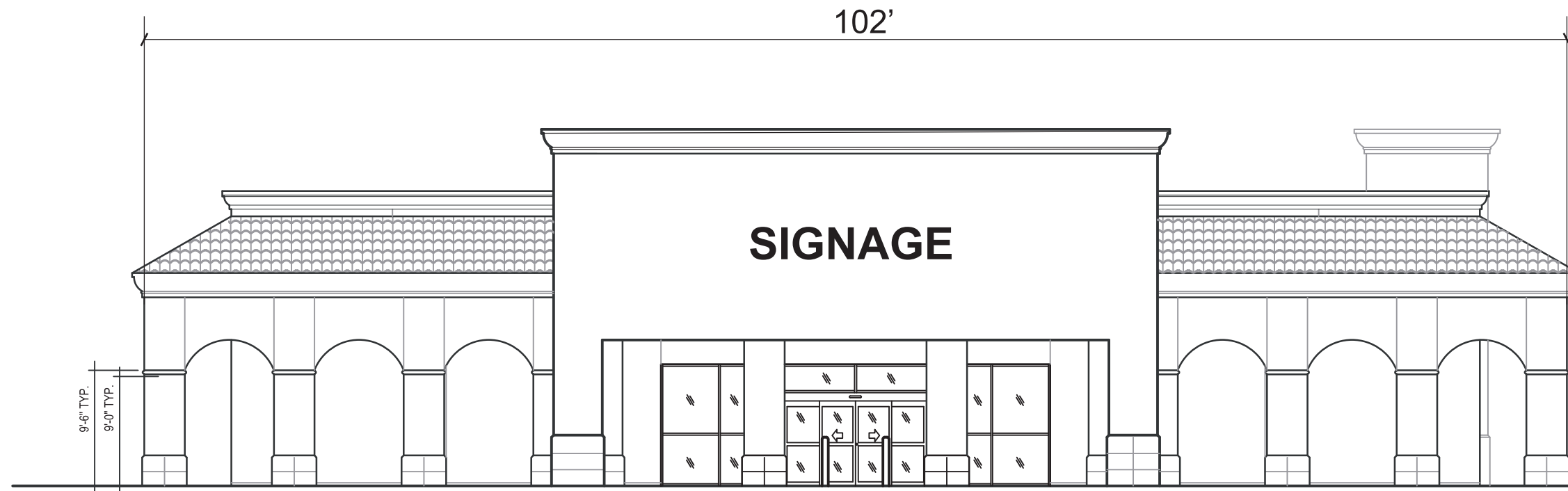
SUBJECT TO REVIEW



**PICO RIVERA CENTER
MASTER SIGN PROGRAM**



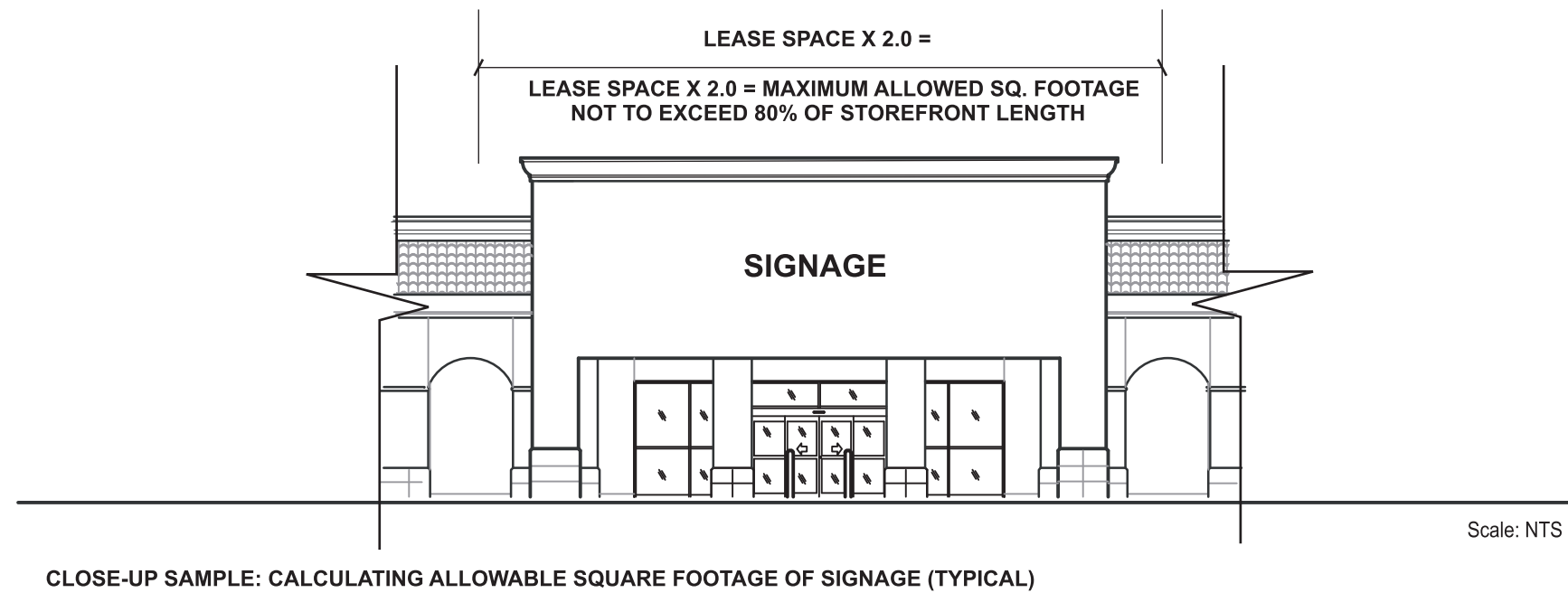
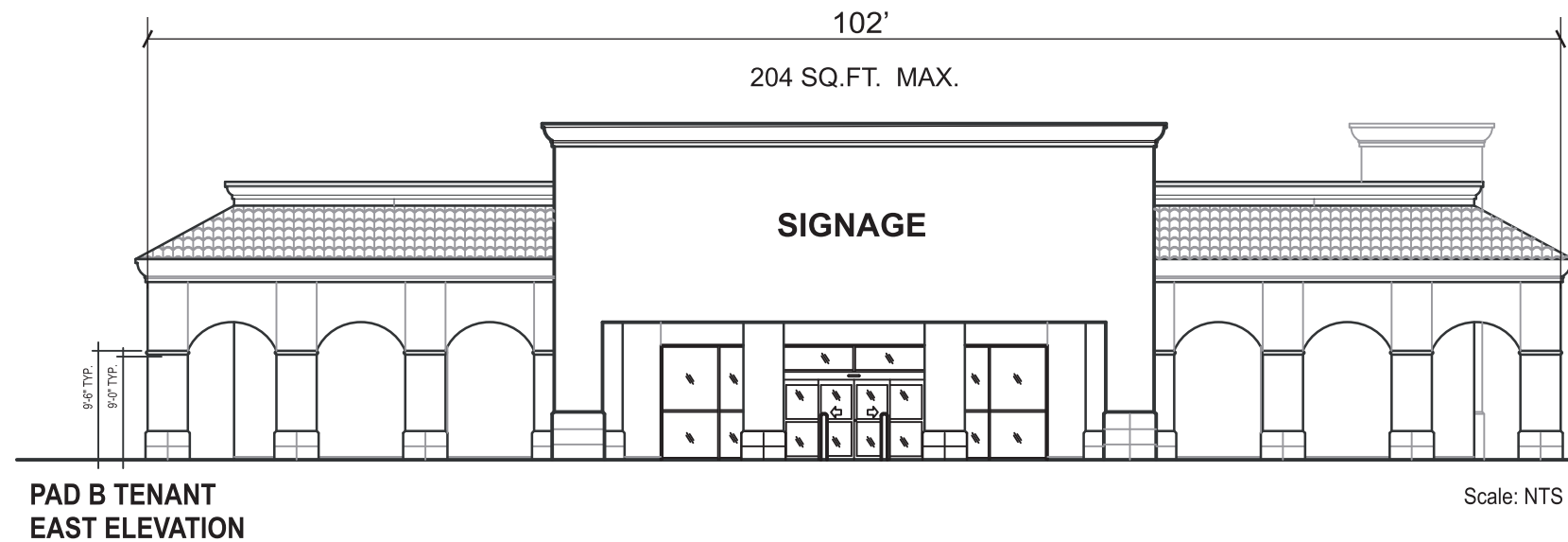
PAD B TENANT: MAXIMUM PRIMARY AND SECONDARY SIGN AREA NOT TO EXCEED 175 SQUARE FEET, MAXIMUM LETTER HEIGHT 3'-6" FEET. SIGN AREA TO BE CALCULATED AT 2 SQUARE FEET OF SIGN AREA PER LINEAL FOOT OF LEASED PREMISES.



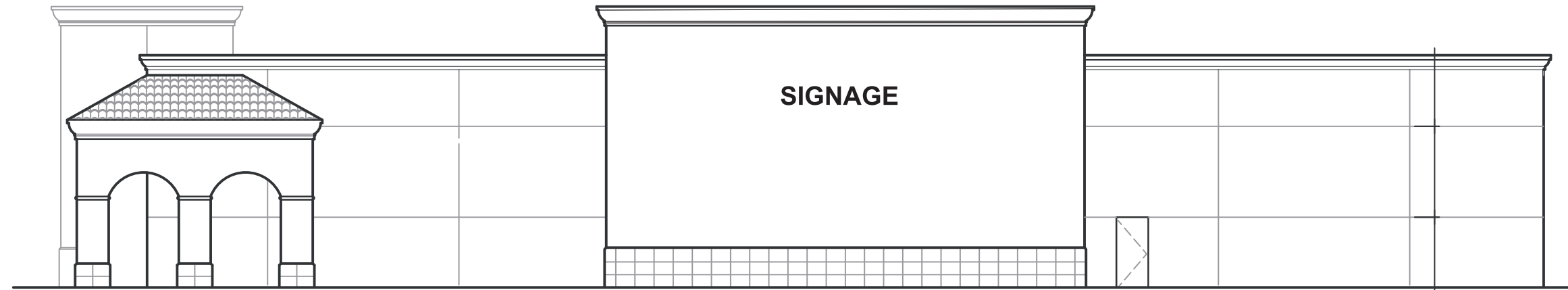
PAD B BUILDING ELEVATION

Scale: NTS

PICO RIVERA CENTER MASTER SIGN PROGRAM

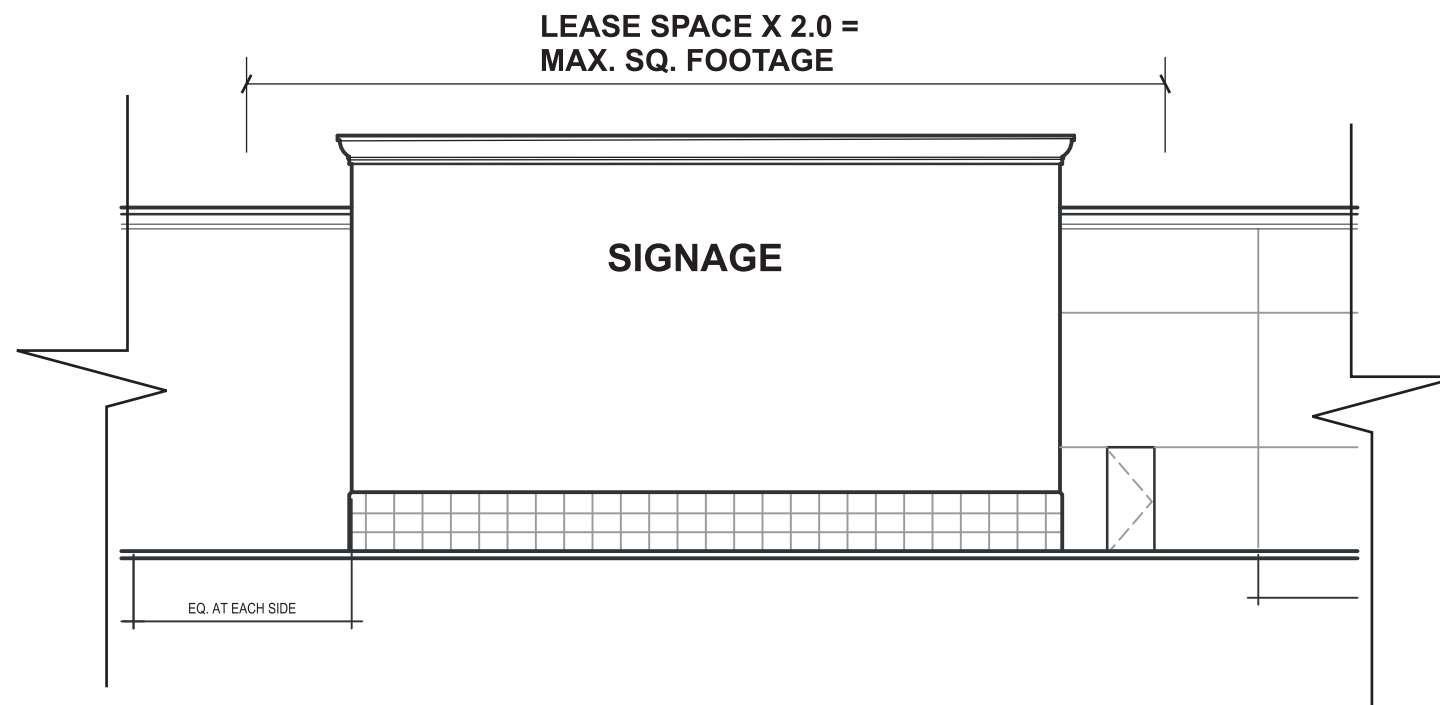


**PICO RIVERA CENTER
MASTER SIGN PROGRAM**



**PAD B TENANT
NORTH (REAR) ELEVATION**

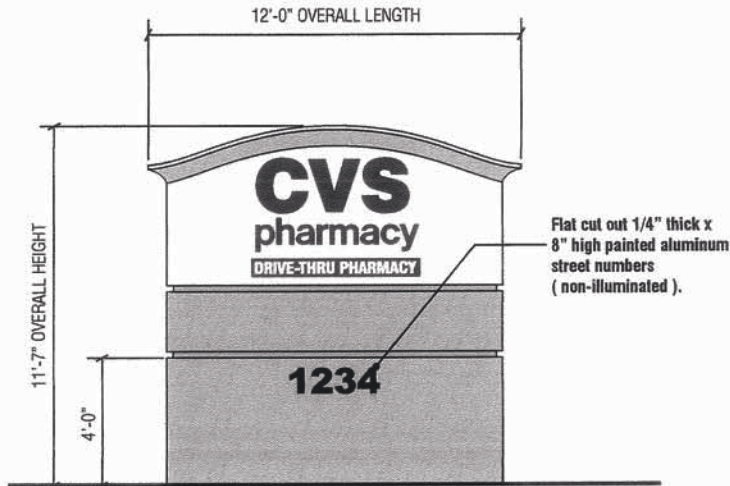
Scale: NTS



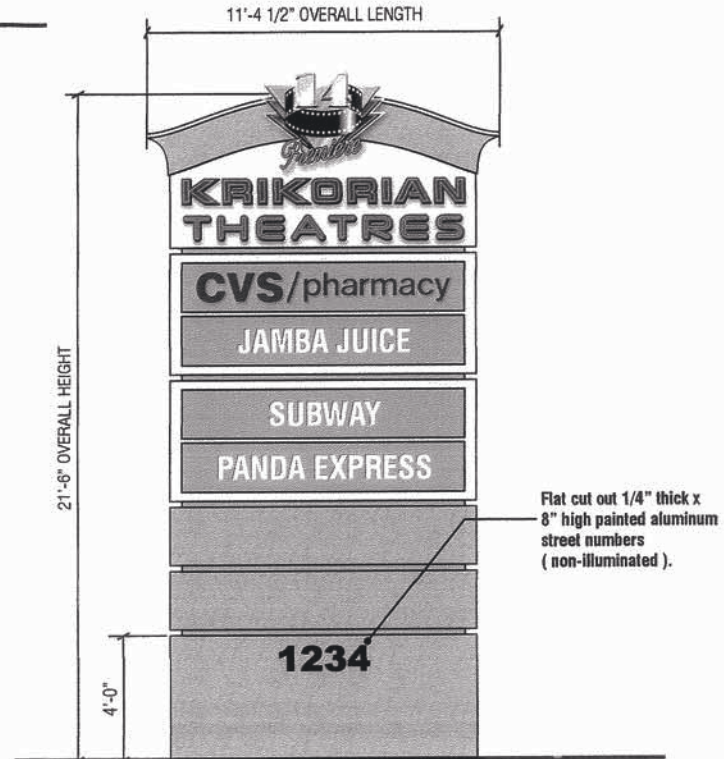
CLOSE-UP SAMPLE: CALCULATING ALLOWABLE SQUARE FOOTAGE OF SIGNAGE (TYPICAL)

Scale: NTS

PICO RIVERA CENTER MASTER SIGN PROGRAM

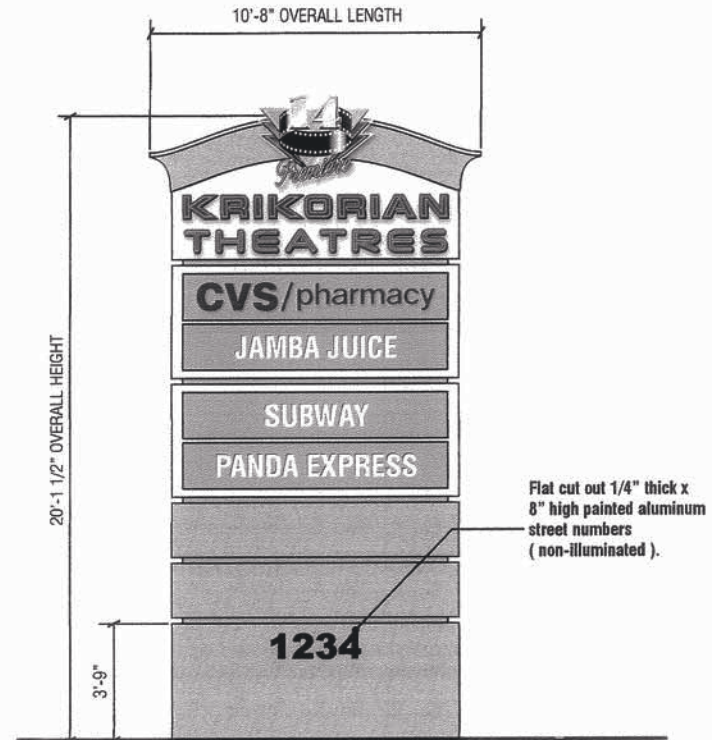


C SIGN ELEVATION / DOUBLE FACE MONUMENT SIGN VANDAL RESISTANT
SCALE: 1/4" = 1'-0" (Only for one tenant use complex sign not permitted)
139 Sq. Ft. (Max. 175 Sq. Ft.)



D1 SIGN ELEVATION / DOUBLE FACE PYLON SIGN VANDAL RESISTANT
SCALE: 1/4" = 1'-0"
Maximum of 200 Sq. Ft. on Paramount Boulevard

PICO RIVERA CENTER MASTER SIGN PROGRAM



D2 SIGN ELEVATION / DOUBLE FACE PYLON SIGN VANDAL RESISTANT

SCALE: 1/4" = 1'-0"

Maximum of 200 Sq. Ft. on Whittier Boulevard

