



S.W.C. Loop 101 and 202, Tempe Arizona

DESIGN GUIDELINES

Vestar Development Co.
2425 E. Camelback Road, Suite 750
Phoenix, Arizona 85016
(602) 866-0900

A. TEMPE MARKETPLACE OVERVIEW

Tempe Marketplace is a unique retail development offering a variety of shopping experiences. This concept this center offers a strategically integrated shopping environment and provides a family atmosphere and a pedestrian oriented center "District" Concept.

When you cross the curb line into Tempe Marketplace, you'll be in an entirely different atmosphere. A combination of lifestyle graphic entry elements and creative building designs define this project and create an exciting interest to explore the center. This development has wide shaded walkways for pedestrian access to the perimeter restaurant and retail pads linking the entire project together. The Desert Chic theme for the Architecture of the project is achieved with a variety of materials and massing. The combinations of the key design elements have materials such as illuminated perforated metal fragment walls, bold colors, exposed steel canopies, and lush desert landscaping.

The center responds to increasing consumer demand for exciting experiences and this Center is designed to offer consumers a complete, synergistic experience involving food, people-watching and shopping. The primary planning and design objective has been to create an entertainment/retail destination with a distinct sense of place and a variety of vibrant, exciting spaces.

To assist the Lessee and the Lessee's Construction Team, this development criteria for Tempe Marketplace has been created. It is an established set of general guidelines that should be followed during permitting and construction.

As the administrator of these criteria, the Developer is the final arbitrator of criteria compliance. Special circumstances may require interpretation of this criteria and the Developer will remain flexible in the review process. The Lessee is encouraged to contact the Tenant Coordinator with any inquiries before commencing construction.

SECTION ONE
PROJECT INFORMATION

B. PROJECT DIRECTORY

DEVELOPER: **Vestar Development Company**
2425 E. Camelback Road, Suite 750
Phoenix, Arizona 85016
Phone: (602)866-0900
FAX: (602) 955-2298

EXECUTIVE ARCHITECT: **Butler Design Group, Inc.**
5555 E. Van Buren St., Suite 215
Phoenix, Arizona 85008
Phone: (602) 957-1800
FAX: (602) 957-7722
Contact: Richard Butler, President
 Scott Godfrey, Project Architect

CIVIL ENGINEER: **Optimus Civil Design Group**
2323 E. Magnolia Street, Suite 107
Phoenix, AZ 85034
Phone: (602) 286-9300
FAX: (602) 286-9400
Contact: Jeff Behrana, President

LANDSCAPE ARCHITECT: **Laskin and Associates, Inc.**
5112 North 40th Street, Suite 202
Phoenix, Arizona 85018
Phone: (602) 840-7771
FAX: (602) 840-8021
Contact: Hardy Laskin, Principal

SECTION ONE
PROJECT INFORMATION

SIGNAGE: **Bleier Industries, Inc.**
2030 W. Desert Cove
Phoenix, Arizona 85029
Phone: (602) 944-3117
FAX: (602) 395-0753
Contact: Paul Bleier, President

TRAFFIC ENGINEER: **Kimley Horn & Associates**
7878 N. 16th Street, Suite 300
Phoenix, AZ 85020
Phone: (602) 906-1101
FAX: (602) 944-7423
Contact: Tove White

SOILS ENGINEER: **Ninyo & Moore**
3001 S. 35th St., Ste. 6
Phoenix, AZ 85034
Phone: (602) 243-1600
FAX: (602) 243-2699
Contact: Mark Edwards

ENVIRONMENTAL ENGINEER: **Brown and Caldwell**
201 E. Washington #500
Phoenix, AZ 85004
Phone: (602) 567-3851
FAX: (602) 567-4001
Contact: Mike Simms

C. UTILITY COMPANIES

GAS: **Southwest Gas Company**
10851 N. Black Canyon Highway
P.O. Box 52075
Phoenix, Arizona 85072
Phone: (602) 395-4164
FAX: (602) 395-4040
Contact: Sam McConnell, Sr. Account Representative

SECTION ONE
PROJECT INFORMATION

ELECTRIC: **SRP**
Mail Station WVS208
P.O. Box 52025
Phoenix, AZ 85072-2025
Phone: 602-236-0691

TELEPHONE: **Qwest Communications**
1022 N. 25th Avenue, Suite 100
Phoenix, Arizona 85021
Phone: (602) 665-1049

CABLE: **COX Communications**
17602 N. Black Canyon Highway
Phoenix, Arizona 85053
Phone: (623) 322-7851
FAX: (623) 322-7424

D. GOVERNING AGENCIES

City of Tempe
31 East Fifth St
Tempe, AZ 85281

Planning:	Steve Venker	(480) 350-8920
Building and Safety:	Mike Williams	(480) 350-8670

Maricopa County Department of Health
1001 N. Central Avenue
Phoenix, Arizona 85009

Bill Francis	(602) 506-0153
Rod Klein	(602) 506-6975

E. CODE REFERENCE

1994 Uniform Building Code – City of Tempe Amended

1991 Uniform Mechanical Code

1991 Uniform Plumbing Code

1996 National Electrical Code

1997 Uniform Fire Code

ADAAG (1996)

ANSI, 1992 Edition

2000 Zoning Ordinance No. 808 of the City of Tempe, Arizona

SECTION TWO

ARCHITECTURAL CRITERIA

A. SITE DEVELOPMENT

The design and development of all site requirements and improvements within the contracted boundaries of the Lessee's parcel is the sole responsibility of the Lessee unless specifically noted otherwise in the Lease Agreement. All design development for site improvements must conform to codes and requirements as set by the City of Tempe Planning and Zoning Department, and the City of Tempe amended building codes outlined throughout this criteria package.

1. GENERAL REQUIREMENTS:

- a) Setbacks for buildings and structures are to be 25 feet from the property line along McClintock Drive and Rio Salado Parkway. There is a 25 foot setback for parking areas along McClintock Drive and Rio Salado Parkway.

2. SITE GRADING:

- a) Parcels will be provided a nominal rough grade elevation indicated on the Civil Drawings. Building Pads will be constructed to within $\pm .10$ and 95% compaction with a typical 5' blow-up. Developer will provide certifications evidencing the foregoing.
- b) The Lessee shall be responsible for all other grading related to its leased parcel. Exporting or importing of materials will be at the Lessee's expense. Neither removal of soil/materials from adjacent site parcels or dumping of soil/materials on adjacent site properties is allowed.
- c) Underground utility systems will be installed as a part of the on-site improvements and will be stubbed to the parcels.

3. PARKING LOT DESIGN:

- a) A combination of 3' high berms and 3' high screen walls is required where parking areas are adjacent to roads/streets. Heights are measured from finished grade of parking lot paving.
- b) Landscaped areas must be separated from parking areas by concrete curbs of at least 6" high.
- c) Per Town requirements, pedestrian walkways are mandatory across the site. The Lessee is responsible for design, development and construction costs of pedestrian walkways with and without accent pavers that are on their parcel. Walkway design and pavers are to match the center design and site plan (see Section 6).

SECTION TWO

ARCHITECTURAL CRITERIA

- d) Parking lot materials are asphaltic concrete paving over a crushed aggregate base. The minimum section design to be in accordance with report by soils engineer.
- e) Parking lot striping for accessible and normal parking, and crosswalks are to match the standard design and color as established for City of Tempe (see Section 5).
- f) The Lessee's architect must allow for and graphically designate on the parcel's site plan all accessible parking spaces, as designated on the City of Tempe approved Design Review site plan, and include location of required signage, ramps and any necessary crosswalks from parking area to building.
- g) All sidewalk and parking lot ramps must adhere to ADA codes and City of Tempe planning and building department requirements.
- h) When changes to off-site improvements are required to properly adapt the Lessee's building and site design to the specific parcel location, it should be understood that all modifications are subject to Developer review and approval. If modifications are allowed to existing improvements, the cost of said improvements, including design and construction costs, would be the responsibility of the Lessee.

B. LANDSCAPE & IRRIGATION

1. The design and installation of all landscape improvements and irrigation systems are the responsibility of the Lessee. The landscape design should compliment the architecture and be cohesive across the parcel and strengthen the unified look of the whole center. The landscape palette must match the center palette.
2. The Lessee is responsible for submitting a site hardscape plan to the Lessor delineating walkways; sidewalk finishes and accent detailing at entries, patios and outdoor spaces.
3. Acceptable plant types shall conform to the City of Tempe and Lessor's requirements for this project as reflected in the Permitted Plant Palette from the Tempe Marketplace Design Guidelines (see Section 6).
4. The Lessee is responsible for providing a time clock controlled site irrigation system that services Lessee's parcel. The Lessee is responsible for all accruing utility fees.

SECTION TWO

ARCHITECTURAL CRITERIA

C. SITE LIGHTING

1. A complete site lighting design must be provided by the Lessee and approved by the developer. This design should provide for site lighting necessary to ensure public safety, security, lighting pedestrian walkways and accenting architectural elements such as building façades, entries, outdoor seating, patios, etc.
2. Arizona has a “dark sky ordinance” that prohibits random up lighting on architectural elements. Indiscriminate illumination of large architectural elements or landscape areas will not be allowed. The Lessee should ensure that accent lighting design is established through wall washing down lights or low-level wall mounted uplights in accordance with the dark sky ordinance. Lights mounted on ground or on poles specifically for the purpose of illuminating the building façade are prohibited.
3. Site lighting fixtures and poles are to match Tempe Marketplace’s standard fixtures in design and detailing (see Section 5).
4. Maximum fixture heights are as follows:
 - i. Walkway Pole: 12’-0”
 - ii. Parking Lot Pole: 40’-0”
5. Lessee to coordinate with developer to determine the hours the site lights will be turned on or off.
6. Site lighting should provide 2.0 average maintained foot-candle level on site with an average to minimum uniformity ratio of 3:1 and a maximum to minimum uniformity ratio of 8:1. Full cut off fixtures shall be used throughout. Maximum lighting level at property lines shall not exceed 0.5 foot-candle.

D. BUILDING IMPROVEMENTS AND APPURTENANCES

The Lessee is strongly encouraged to incorporate, with design sensitivity and accuracy of detailing, some of the architectural elements noted in this section. Details of the architectural elements listed are available at the Lessee’s request from the developers architect, Butler Design Group, Inc.

Metal Canopies and roofing
Illuminated Fragment Walls
Approved Color Palette
Storefront Type and Glazing
Greenscreen
Accent Light Fixtures

SECTION TWO ARCHITECTURAL CRITERIA

1. BUILDING ELEVATIONS:
 - a) The proposed individual pad buildings shall match the center architecture, including details, materials, finishes, color, etc. and shall require separate Development Review Board approval.
 - b) No exterior vending or display shall be allowed.
 - c) Paint service entrance sections to match the building and/or screen from view.
 - d) Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos in locations visible from public streets, as determined by and to the satisfaction of Lessor.
 - e) All roof top mechanical equipment shall be completely screened by parapet walls or within roof structure and follow City of Tempe's "flat plane screening rule.
 - f) All ground mounted mechanical equipment shall be completely screened by green screen or walls with color and texture to match the building.
 - g) Roof mounted communication equipment, including satellite dishes, shall be completely screened by the parapet walls or freestanding screen walls subject to Developer approval.
 - h) Ground mounted communication equipment, including satellite dishes, shall be completely screened by freestanding screen walls subject to Developer approval.

2. ROOF ACCESS:
 - a) No exterior visible ladders allowed.

3. ROOF DRAINAGE:
 - a) Provide interior roof drainage.

4. REFUSE COLLECTION:
 - a) Where service areas occur, they should be gated and screened from view by fences or walls. Trash enclosures shall be incorporated into the building footprint or be constructed as freestanding, gated enclosures, surrounded by walls of at least 8 feet in height. Enclosure to be CMU with painted, sand finished stucco or concrete walls with gate to match center detail.

SECTION TWO

ARCHITECTURAL CRITERIA

- b) Refuse enclosures shall be constructed to City of Tempe standards (see Section 5).
- c) An area ten feet (10'-0") long shall be provided for approach to refuse enclosures with slope constant with enclosure floor (to facilitate container pick-up).
- d) Enclosures must:
 - ◆ Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 35' inside and 55' outside.
 - ◆ Be positioned to facilitate collection without "backtracking".
 - ◆ Be easily accessible by a simple route.
 - ◆ Not require backing of more than 50 feet.
 - ◆ Not be located on dead-end parking aisles.
 - ◆ Enclosure services on one side of a drive must be positioned at a 30° angle to the centerline of the drive.

E. BUILDING MATERIALS AND FINISHES

In keeping with the distinctive look of the center, the use of sand finished stucco on masonry is required. Design colors approved by the developer are noted in the Exhibit section. The center primary materials are the following:

Pre-cast Tilt Slab
Concrete

Painted

Stucco:

Sand Finish, painted

Storefronts:

Kawneer Trifab II 400 stick system., 2" x 4½" system, ¼" glass with PPG Industries "clear" glass

Storefront colors can be selected from the material board to allow for additional accent

Green Screen:

Contact: John Souza
(800) 450-4394

SECTION TWO
ARCHITECTURAL CRITERIA

F. SIGNAGE AND GRAPHICS

Architectural graphics and ornamentation have been given a special priority throughout Tempe Marketplace. The design of the exterior signage should express both the Lessee's unique identity and the spirit of the Arizona outdoor lifestyle in the signage materials selections and retro style fabrication.

Lessees have the opportunity to place identity signage on multiple building façades fabricated from a number of materials types and styles, so long as they are unique and creative graphic expressions, which compliment the building's exterior design.

A copy of the shopping center sign criteria is attached. In addition, Paul Bleier of Bleier Industries can provide advice for processing signs through the City of Tempe (all signage will require separate approvals and permits).

SECTION THREE PLAN SUBMITTALS

A. PLAN SUBMITTALS

1. GENERAL:

To assist the Lessee in organizing time schedules and planned work efforts by the Lessee's architectural and engineering team, the following guidelines for submittals have been developed. Prior to preparing designs, calculations and specifications, the Lessee and the Lessee's architectural and engineering team should be thoroughly familiar with the development criteria presented in this packet, all local building codes, provisions of the Lessee's Lease Agreement, development plans for the center and as-built conditions of the project.

2. CONCEPTUAL DESIGN SUBMITTAL:

Within thirty (30) days after Lessee's receipt of a fully executed copy of the Lease Agreement (unless otherwise noted in the Lessee's Agreement) and before Design Review Submittal to the Town, Lessee must submit to the Developer for its approval two (2) copies of preliminary plans for the site and building. The Conceptual Design Submittal shall include:

- a) Overall site plan showing building footprint, parking lot layout complete with points of ingress and egress, loading area (if provided), trash enclosure, and hardscape and landscape areas. Ground signs should be clearly indicated, if allowed.
- b) Preliminary building floor plan, with overall dimensions.
- c) Conceptual colored exterior elevations for all building sides, including the indication of materials to be used and proposed building signage (with sign sizes and types noted).
- d) Material and color selection board.

3. SITE DEVELOPMENT PLAN SUBMITTAL:

Within thirty (30) days after the Developer's approval of the Lessee's Conceptual Design Submittal (unless otherwise noted in the Lessee's agreement), and before Design Review Submittal to the Town, Lessee agrees to submit to the Developer for its approval two (2) copies of the preliminary plans and specifications for the proposed site development and building. Developer will submit this plan to the City of Tempe Design Review Committee for approval on behalf of Lessee. The Site Improvement Plans must be at a minimum 1" – 30' scale and shall include:

- a) Overall Site Plan dimensioned to show building location, parking lot layout and all landscape and hardscape areas.
- b) Overall Landscape Plan with planting legend and tree sizes.

SECTION THREE PLAN SUBMITTALS

- c) Grading Plan.
- d) Preliminary Site Lighting Plan with fixture selections and site photometric, if applicable.
- e) Building Floor Plan with overall dimensions. Plan to be 1/8" scale.
- f) Exterior Elevations – all building sides with signage shown and roof line dashed with roof mechanical equipment shown dashed. Elevations to be 1/8" scale. All colors and materials to be noted.
- g) Refuse enclosure elevations.

4. FINAL PLAN SUBMITTAL:

Within sixty (60) days after the Developer's approval of the Lessee's Site Improvement Plan submittal (unless otherwise noted in the Lessee's agreement), and before Plans Review submittal to the Town, the Lessee agrees to submit to the Developer two (2) blue-line copies of substantially complete plans and written specifications for the work along with the site and building signage locations and designs.

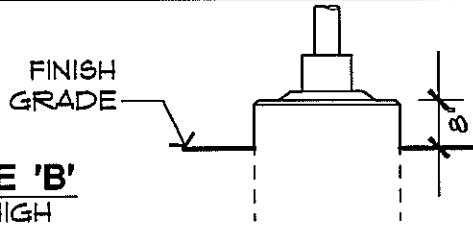
The Final Plan Submittal plans must be in substantial conformance with the approved Conceptual Design and Site Improvement Plan submittals.

It is the Developer's intent that the final plan submittal be based on approximately 80% complete working drawings to allow the Lessee and the Lessee's architect and engineer time to make Developer-required corrections prior to the completion of the plans and submittal of documents for plan check. Once corrections have been made and the Lessee has secured all building permits, a record set of approved plans and specifications shall be forwarded to the Developer.

LIST OF TECHNICAL EXHIBITS

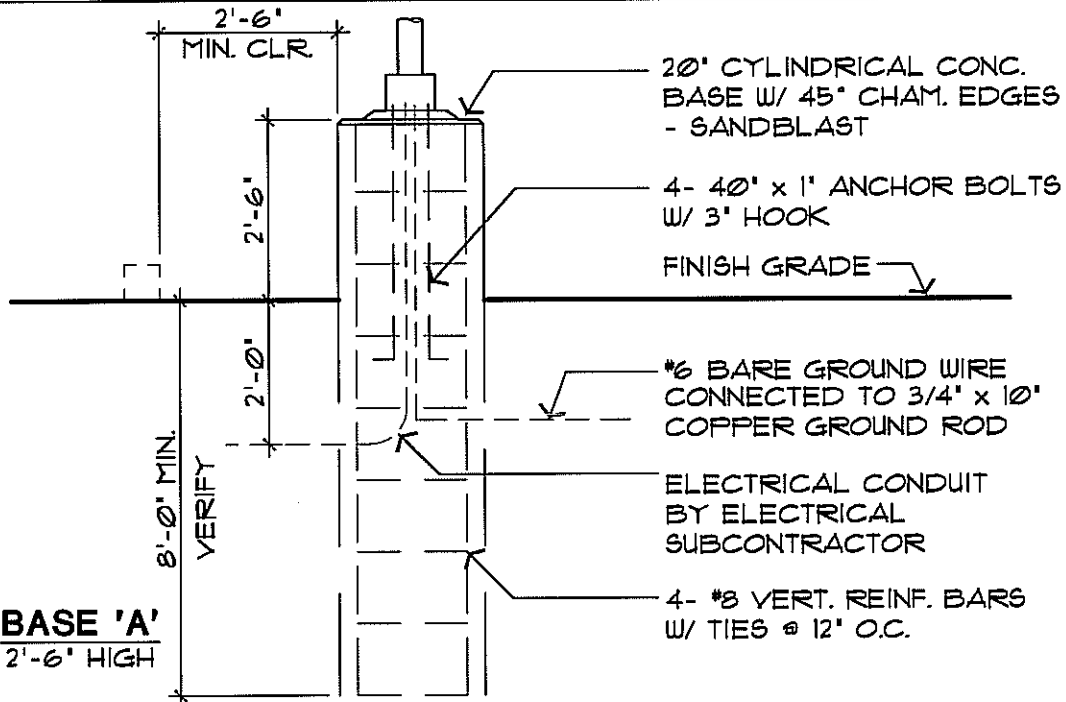
1. Light Standards
2. Light Standards Base
3. Bike Rack Detail
4. Double Trash Enclosure
5. Double Trash Enclosure Gate Detail
6. Restaurant Trash Enclosure
7. Restaurant Trash Enclosure Gate Detail
8. Saw cut Joint / Tooled Concrete Joint / Concrete Walk Expansion Joint
9. Sidewalk at Edge / Typical Cast in Place Curb at Concrete
10. Concrete Walk – Broom Finish
11. Concrete Walk – Exposed Aggregate Finish
12. Ramp at Sidewalk / Pavers to Concrete Detail
13. Pavers to Curb and Gutter
14. Accessible Ramp Detail
15. Accessible Ramp Detail
16. Accessible Stall & Ramp
17. Accessible Sign
18. Fire Lane Sign
19. Stop Sign

BASE 'B'
8" HIGH



FOR USE IN LANDSCAPE
AREAS WHERE POLE IS
FREE FROM POSSIBLE
VEHICULAR DAMAGE
AND AT 12'-0" HIGH
PEDESTALIAN POLES

BASE 'A'
2'-6" HIGH



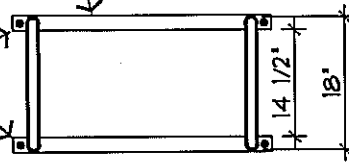
13 LIGHT POLE STANDARDS

SCALE: 3/8" = 1'-0"

03034SD-11

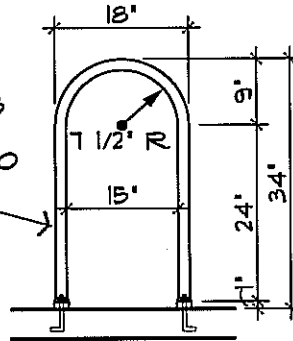
1x2' RECTANGULAR
STEEL TUBING BASE
11 GAUGE

1/8"x2"x2"x2' ANGLE
ANCHOR BRACKETS
WITH 1/2"φ HOLE - WELD
TO BASE (4 REQUIRED)



(A) PLAN

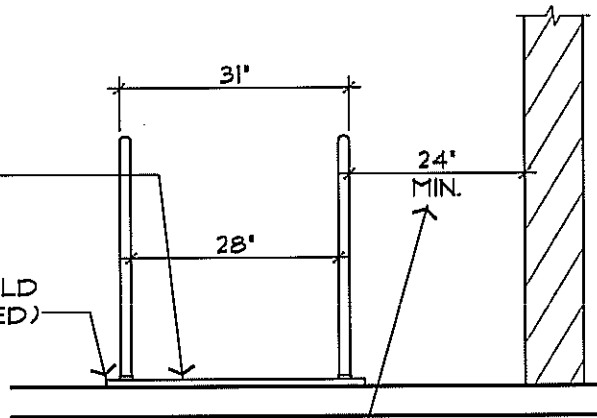
UPRIGHT SUPPORTS
2"φ STEEL TUBING
- 11 GAUGE WELD TO
BASE



(B) SECTION

1x2' RECTANGULAR
STEEL TUBING BASE
11 GAUGE

1/8"x2"x2"x2' ANGLE
ANCHOR BRACKETS
WITH 1/2"φ HOLE - WELD
TO BASE (4 REQUIRED)

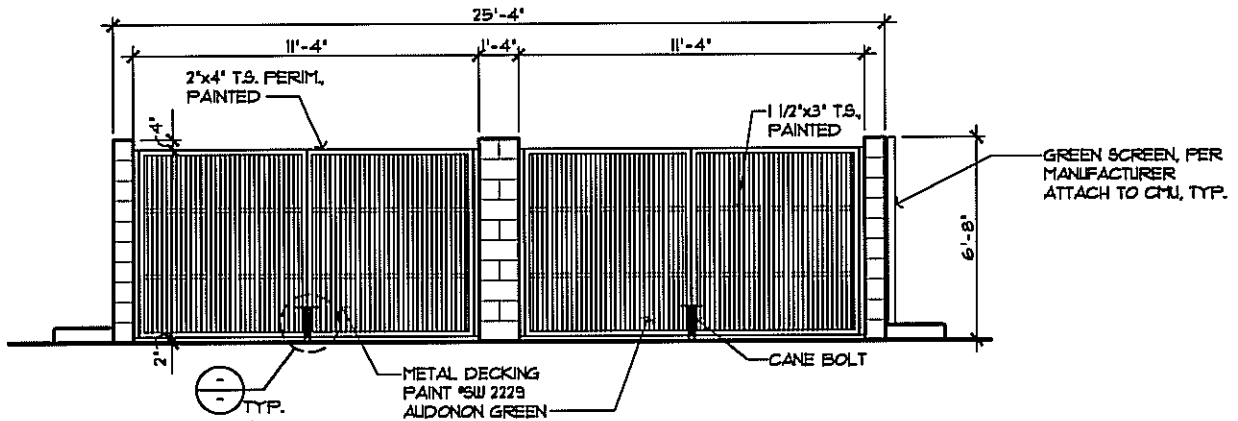
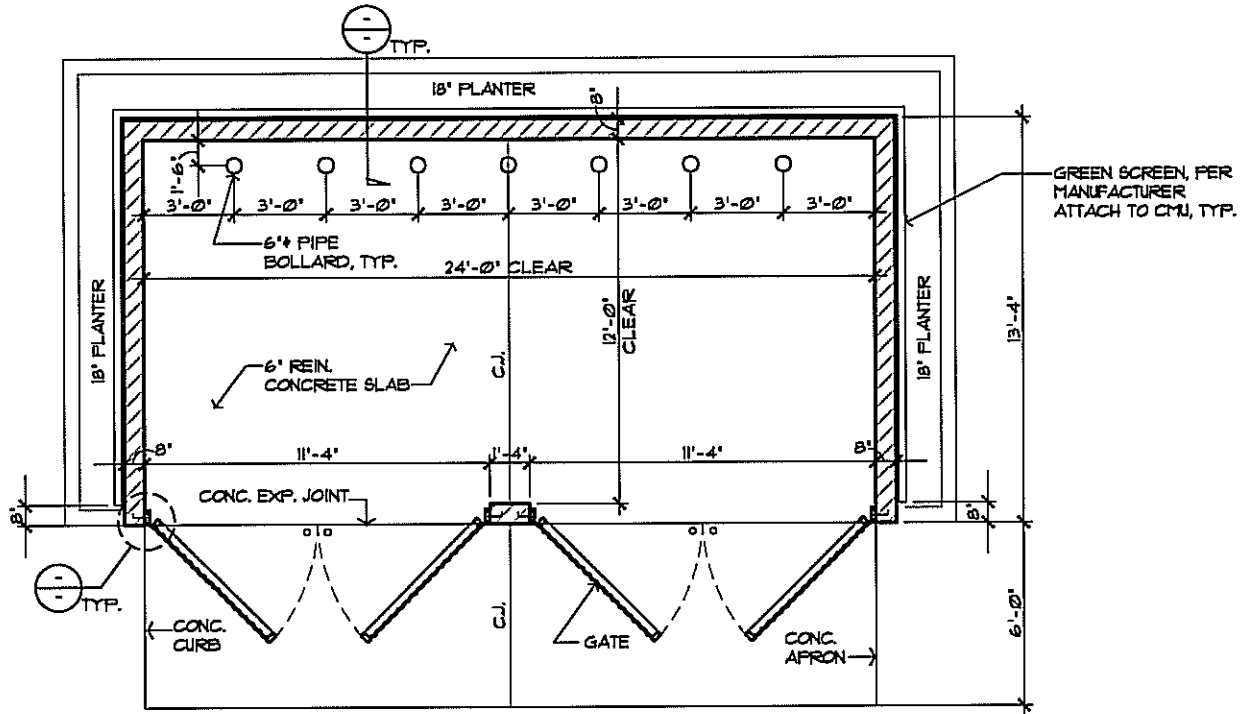


(C) ELEVATION

CLEARANCE FROM WALLS
OR OBSTRUCTIONS ON
BOTH SIDES AND BACK -
FRONT TO HAVE 6' MIN.
CLEAR AREA

NOTE:

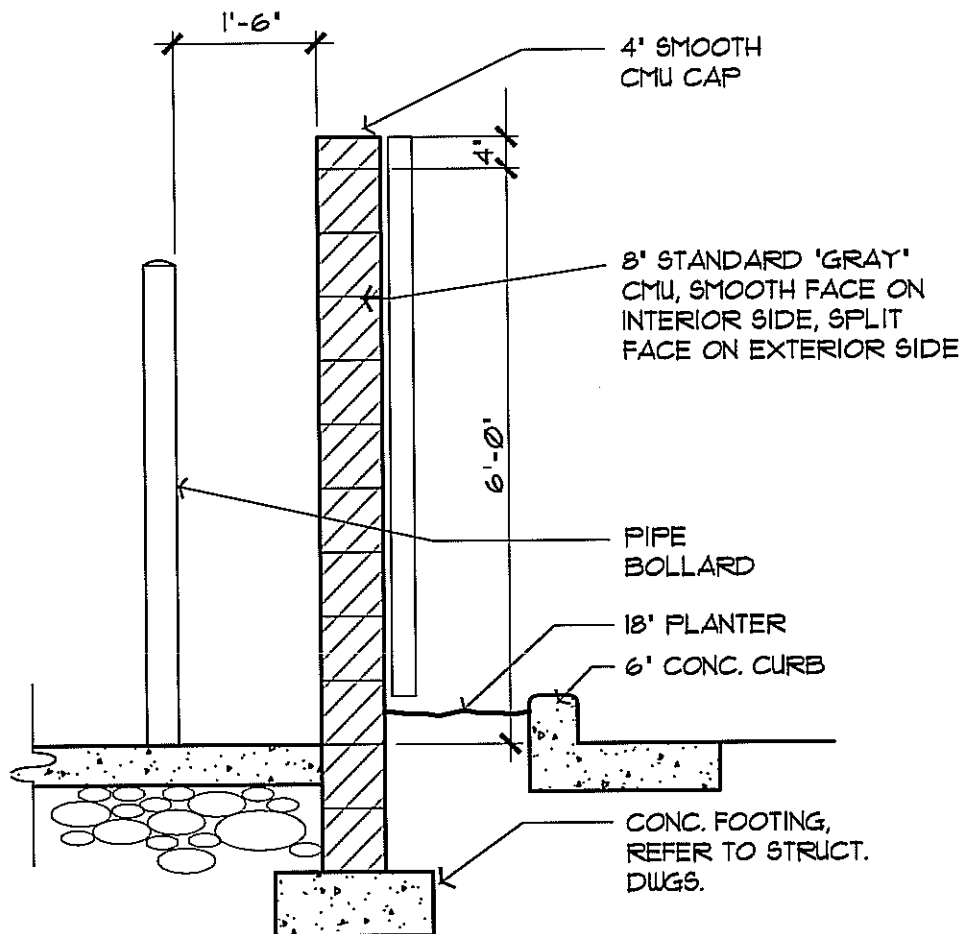
1. DOUBLE RACK HOLDS 4 BICYCLES.
2. FINISH TO BE WEATHER RESISTANT - BAKED ON POLYMER POWDER COATING.
3. ANCHOR RACK TO CONCRETE WITH 3/8" x 2 1/2" WEDGE ANCHORS, (4 REQUIRED) OR SET TUBING 12" BELOW GRADE IN 24" DEEP x 6" WIDE CONCRETE FOOTING
4. CONCRETE BASE MAY BE COVERED WITH TURF OR DECOMPOSED GRANITE
5. PLACEMENT OF BICYCLE RACK SHALL BE CONVENIENT TO MAIN ENTRANCE AND IN A HIGHLY VISIBILITY AREA



5 DOUBLE TRASH ENCL. ELEVATION

SCALE: 1/4" = 1'-0"

03034SD-02

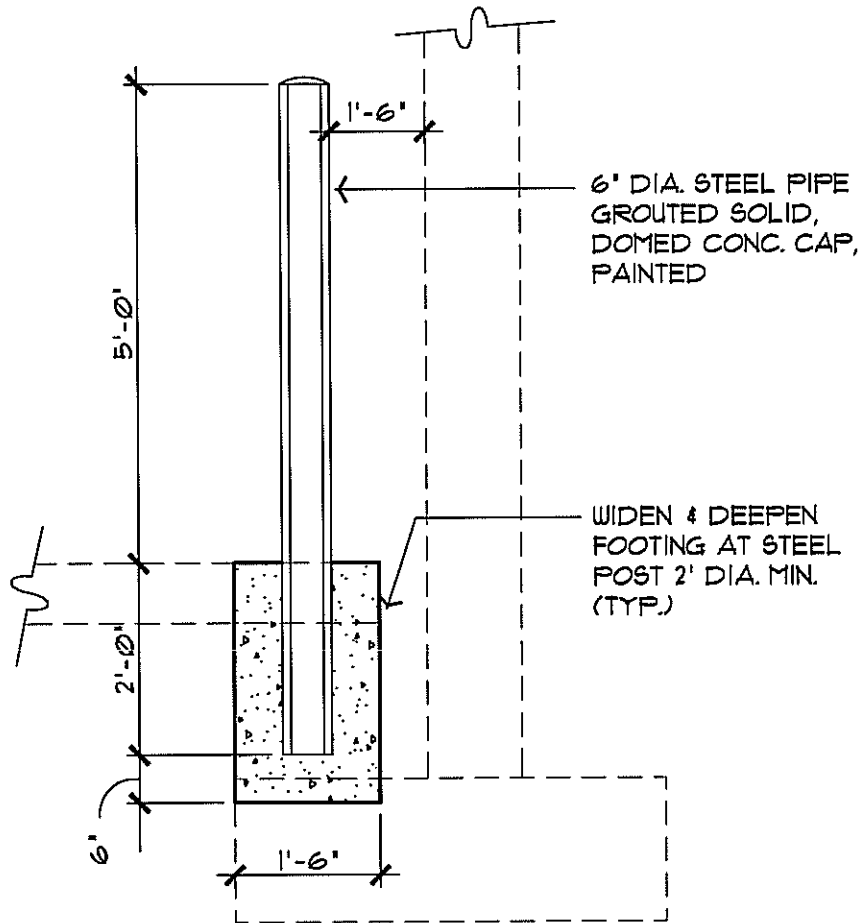


6

TRASH ENCL. WALL SECTION

SCALE: 1/2" = 1'-0"

03034SD-26

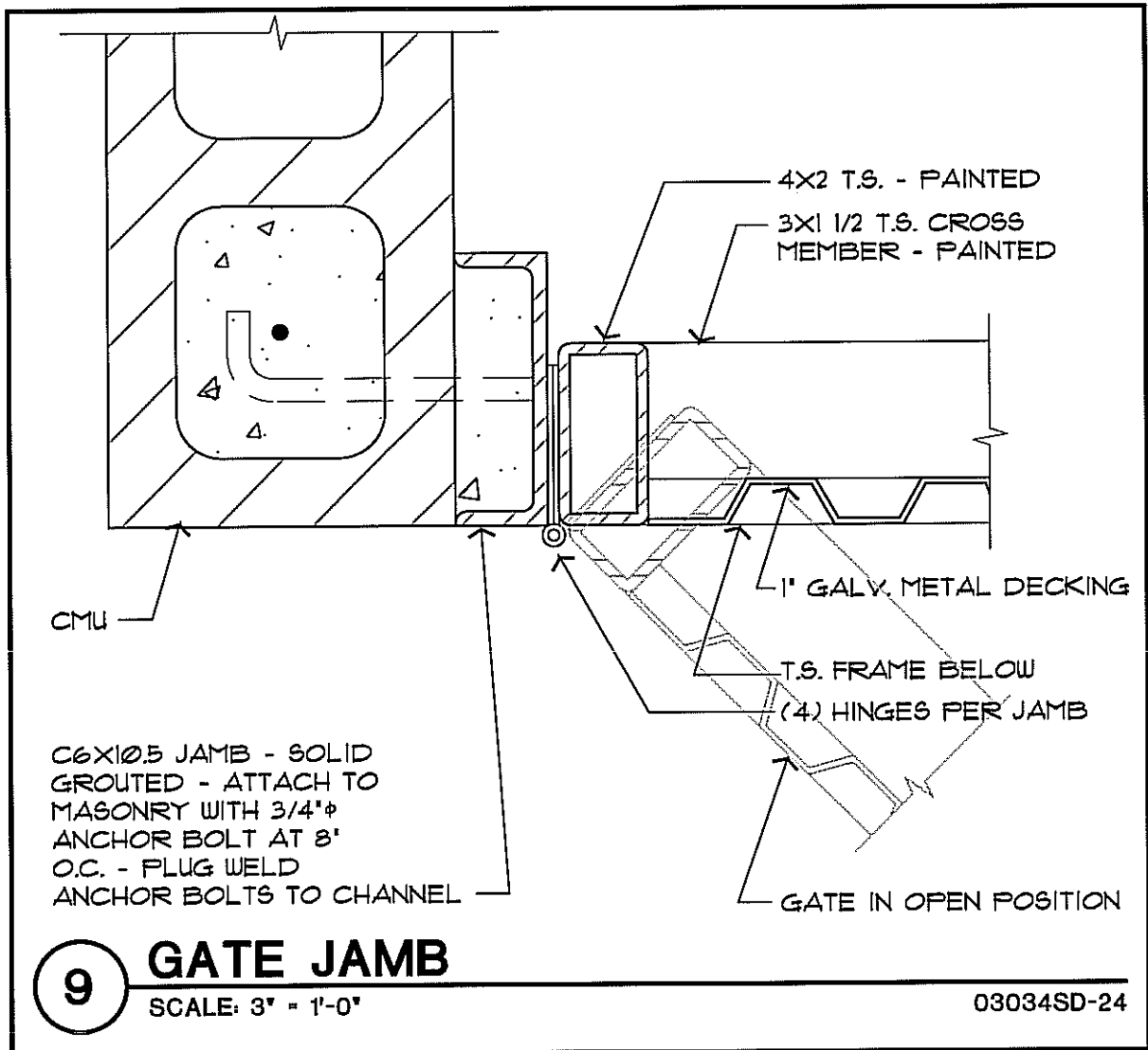


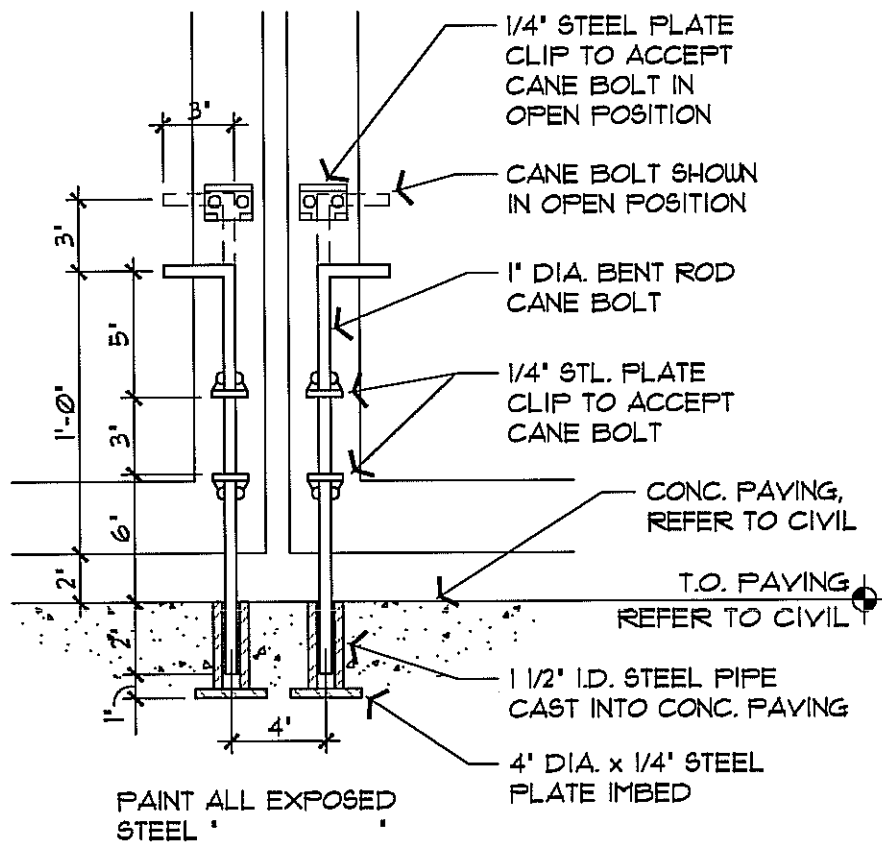
7

PIPE BOLLARD AT TRASH ENCL.

SCALE: 1/2" = 1'-0"

03034SD-25



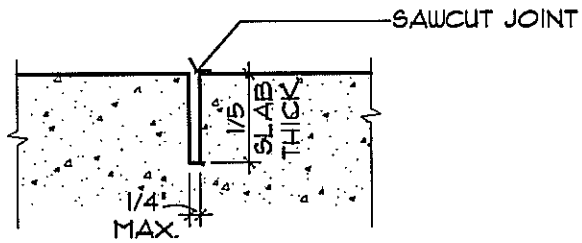


10

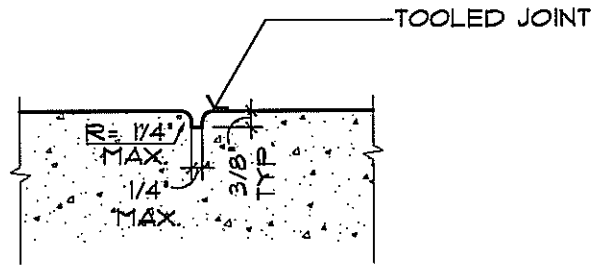
CANE BOLT

SCALE: 1 1/2" = 1'-0"

03034SD-27

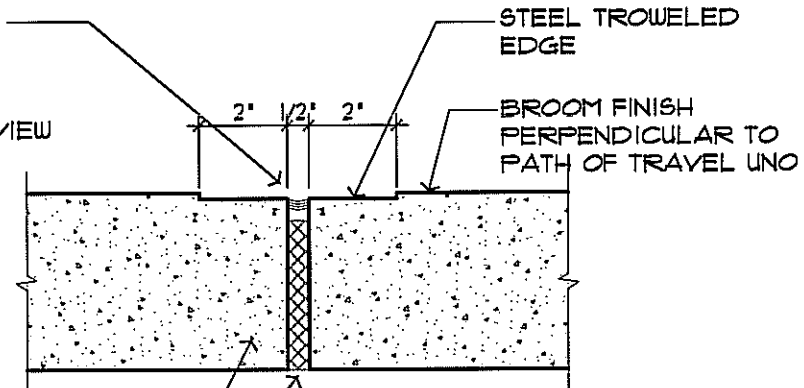


(A) SAWCUT CONTROL JOINT



(B) TOOLED CONTROL JOINT

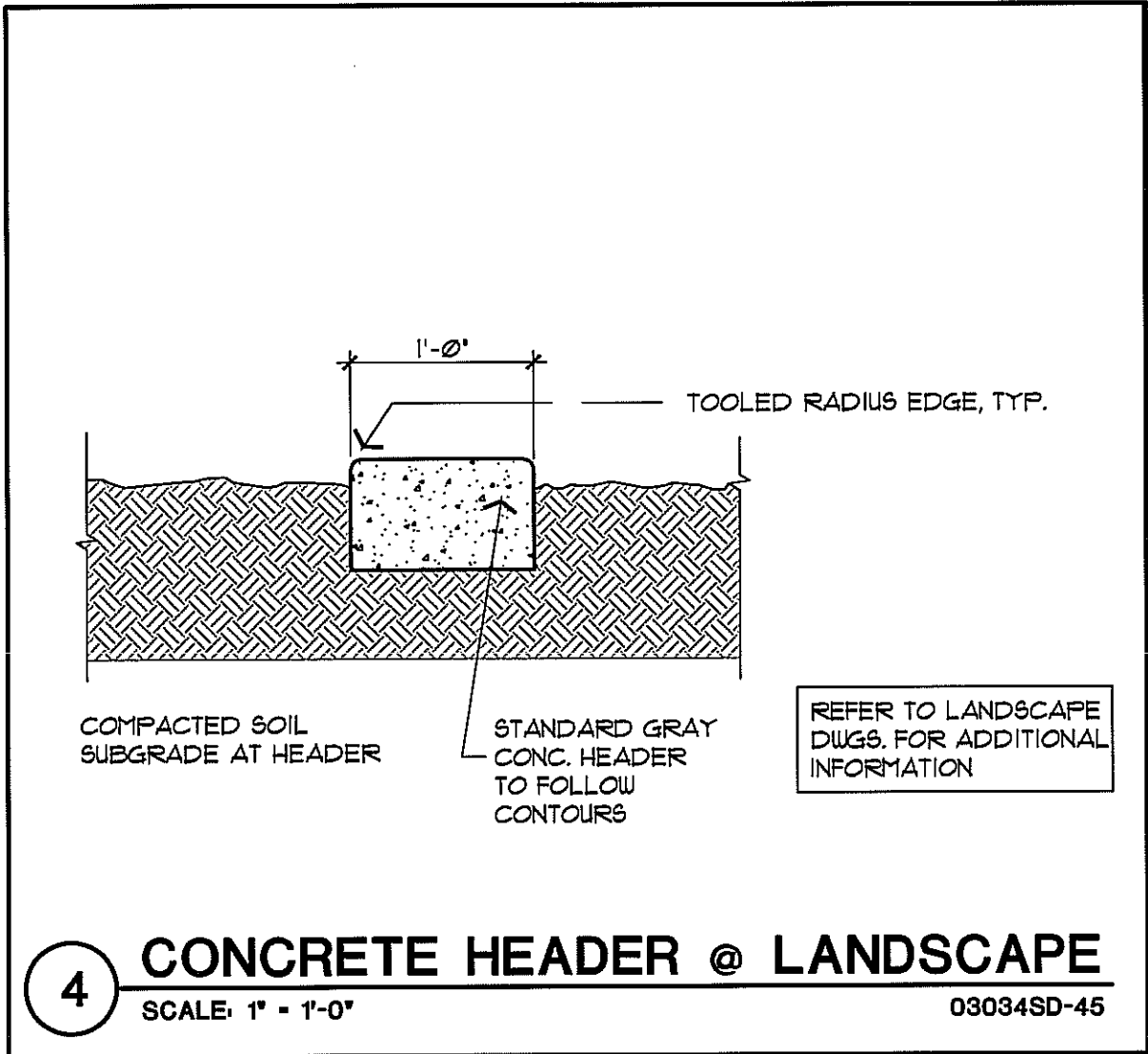
CUSTOM COLOR -
TRAFFIC SEALANT.
CONTRACTOR TO
SUBMIT COLOR
SAMPLES FOR REVIEW
PRIOR TO
APPLICATION.

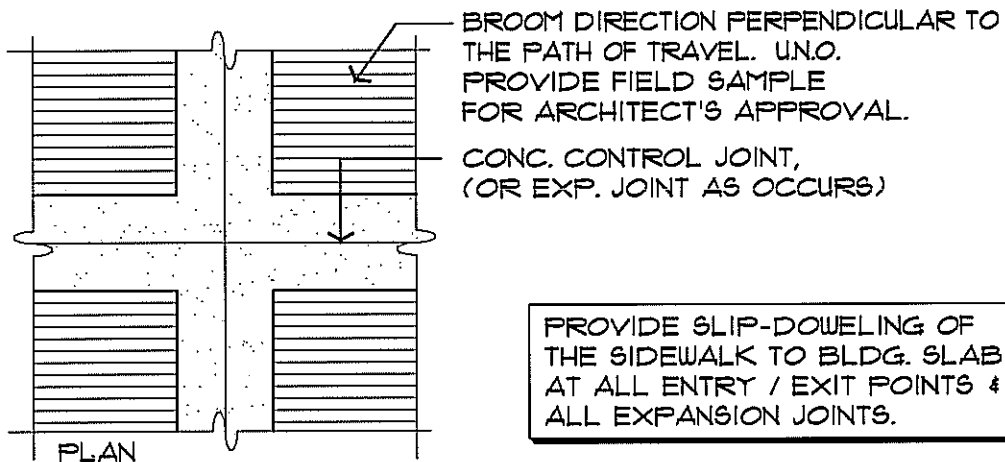
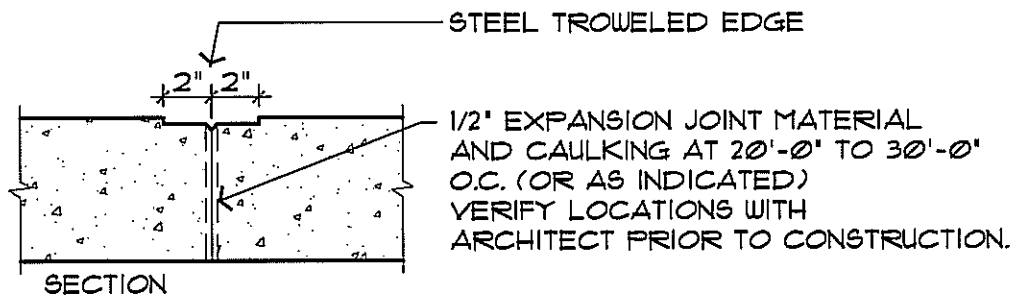


CONCRETE SLAB
EXP. JOINT FILLER
MAT'L

1/2" EXPANSION JOINT AT
20'-0" TO 30'-0" -
VERIFY JOINT LOCATIONS
W/ ARCHITECT

(C) EXPANSION JOINT





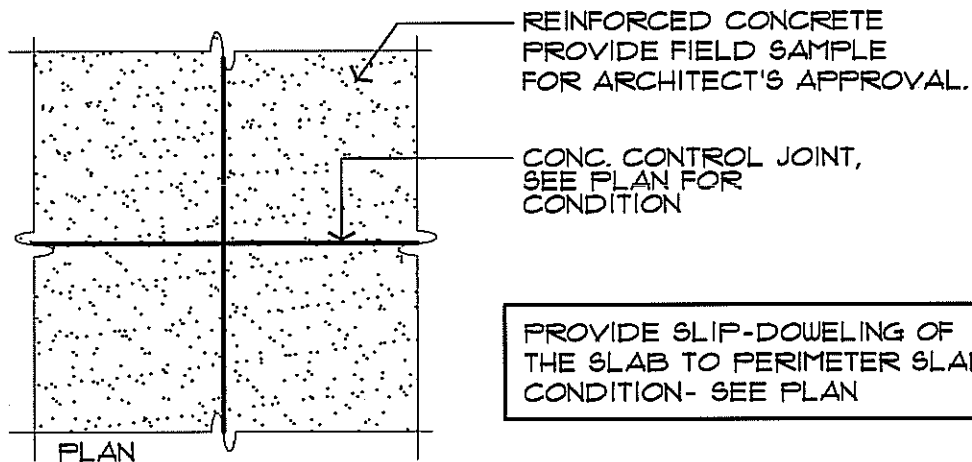
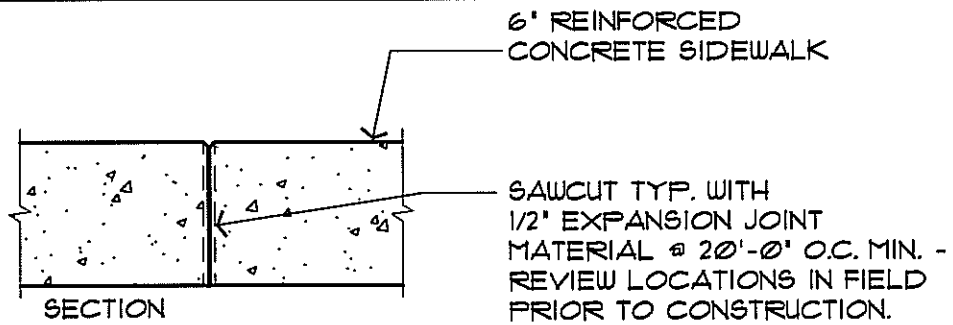
PROVIDE SLIP-DOWELING OF THE SIDEWALK TO BLDG. SLAB AT ALL ENTRY / EXIT POINTS & ALL EXPANSION JOINTS.

1

CONCRETE WALK - BROOM FINISH

SCALE: 1 1/2" = 1'-0"

03034SD-21



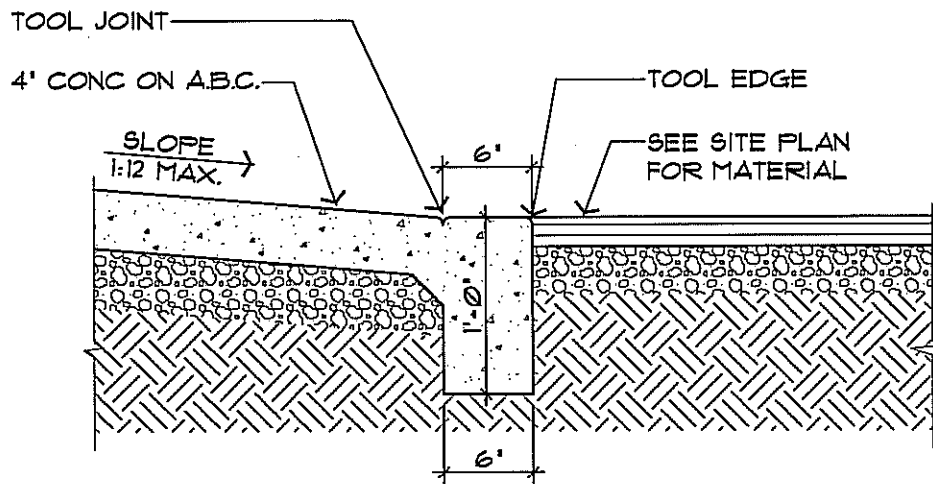
PROVIDE SLIP-DOWELING OF
THE SLAB TO PERIMETER SLAB
CONDITION- SEE PLAN

2

CONCRETE EXP. AGG. FINISH

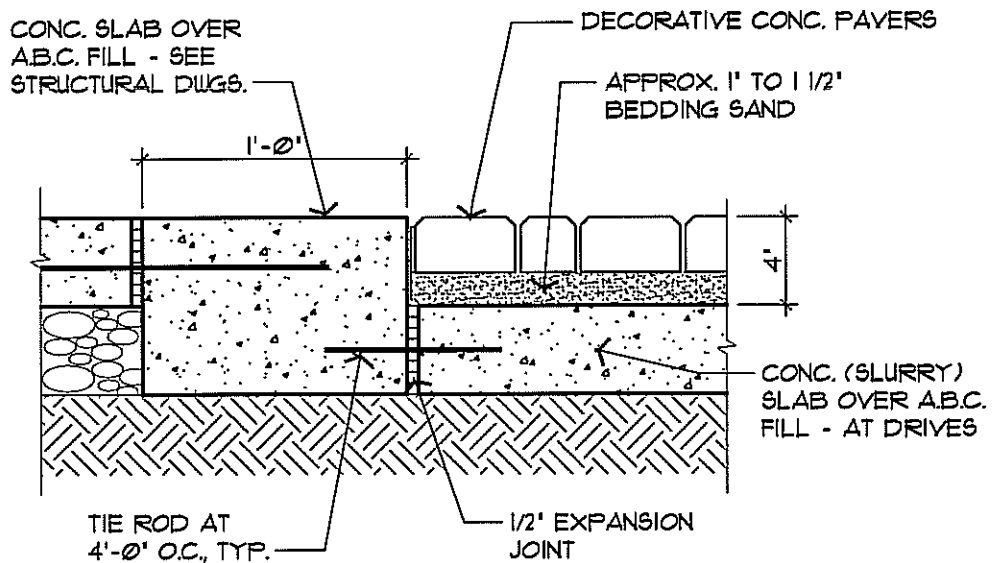
SCALE: 1 1/2" = 1'-0"

03034SD-20



(A) RAMP TERMINATION

INSTALL PAVERS AS PER
MANUFACTURER'S SPECS.

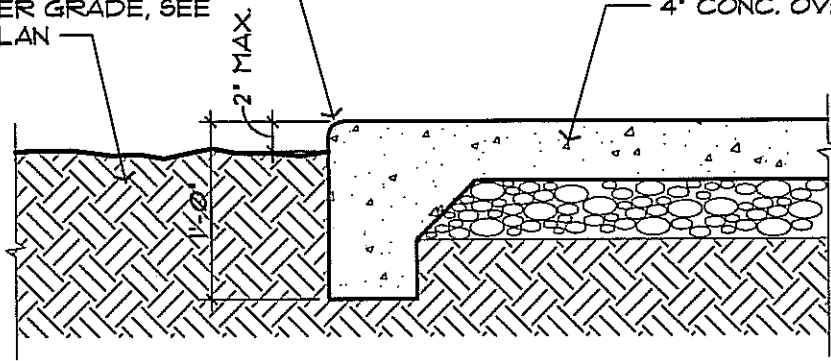


(B) PAVERS AT SIDEWALK

TOOLED EDGE & JT.

PLANTER GRADE, SEE SITE PLAN

4" CONC. OVER A.B.C.



A AT PLANTER

EXPANSION JOINT

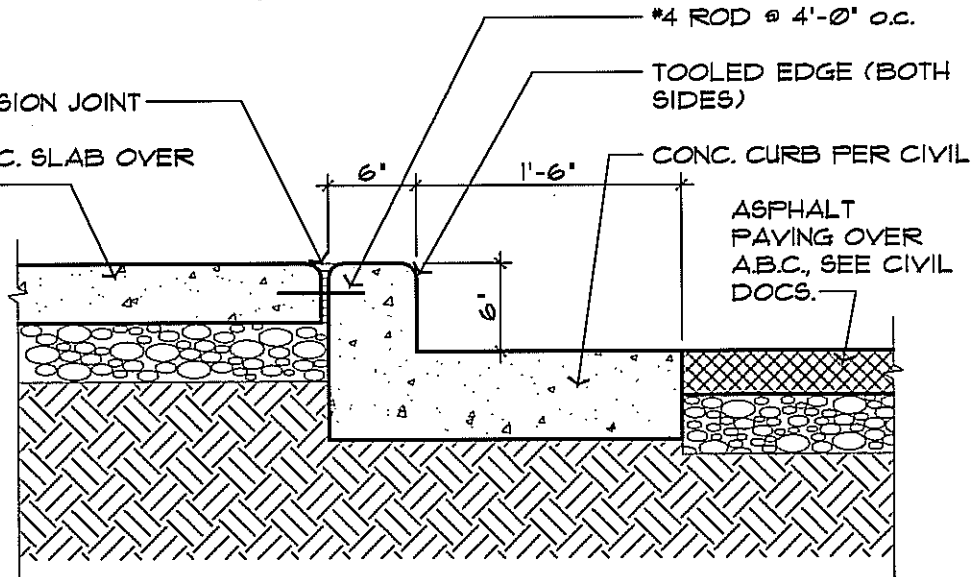
4" CONC. SLAB OVER A.B.C.

#4 ROD @ 4'-0" o.c.

TOOLED EDGE (BOTH SIDES)

CONC. CURB PER CIVIL

ASPHALT PAVING OVER A.B.C., SEE CIVIL DOCS.



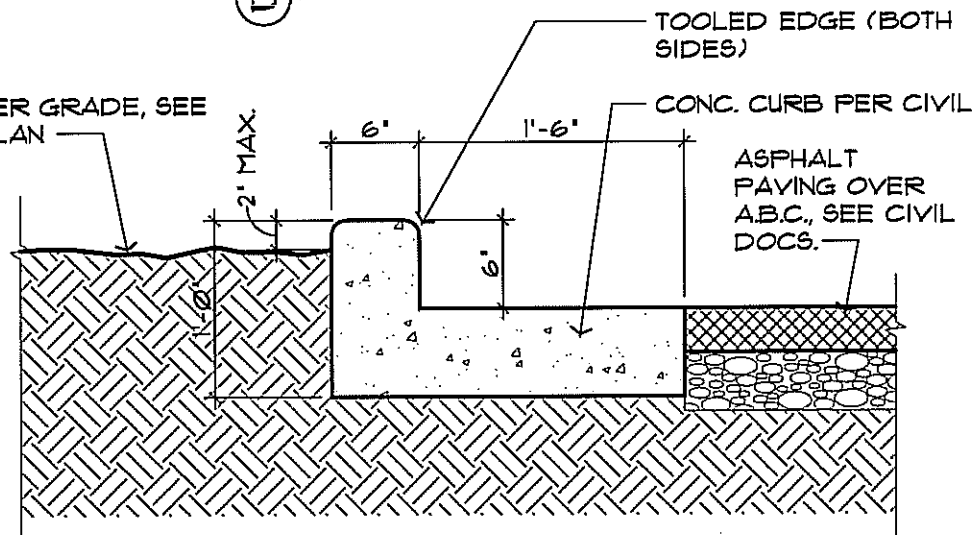
B AT ASPHALT

PLANTER GRADE, SEE SITE PLAN

TOOLED EDGE (BOTH SIDES)

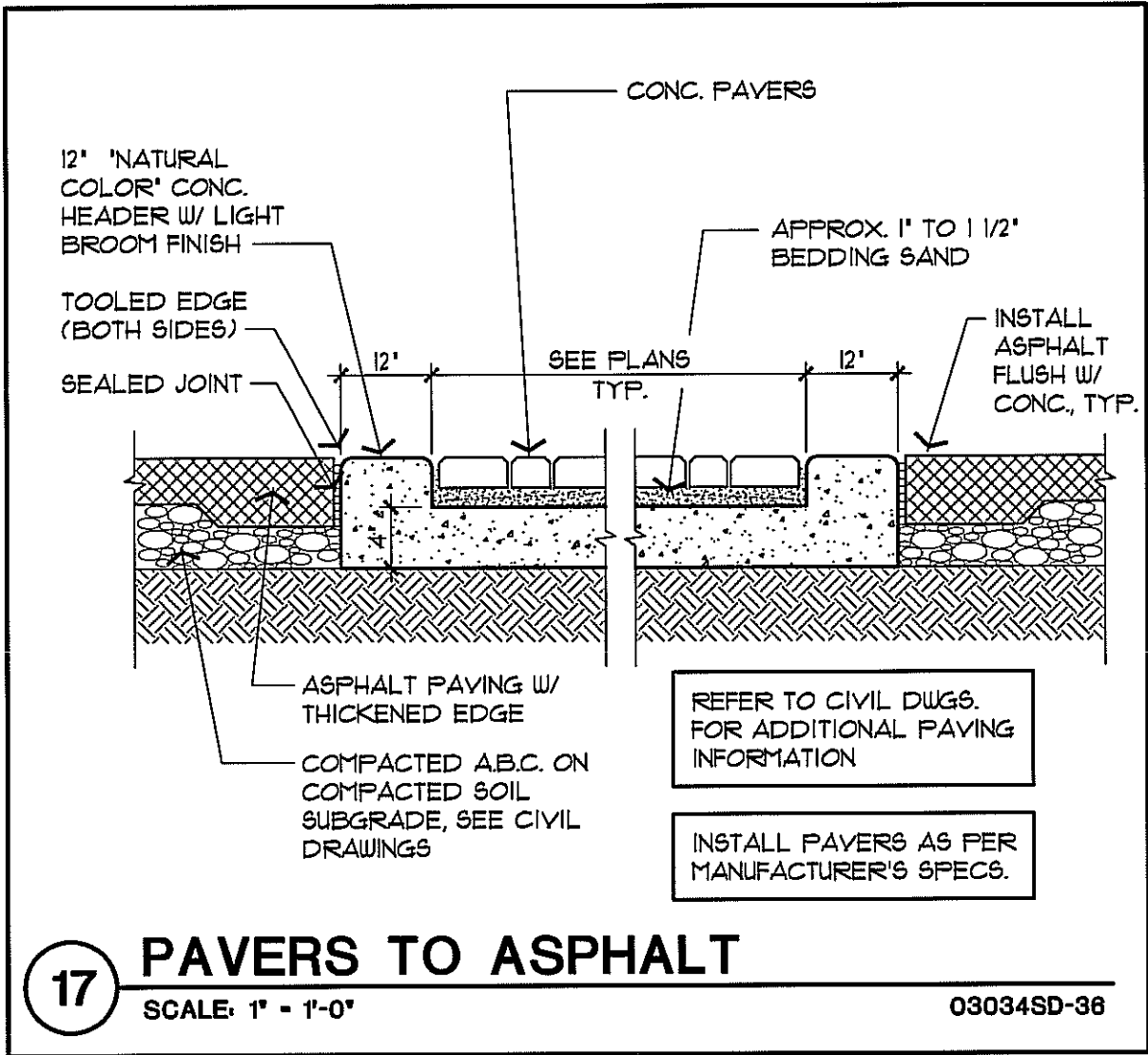
CONC. CURB PER CIVIL

ASPHALT PAVING OVER A.B.C., SEE CIVIL DOCS.

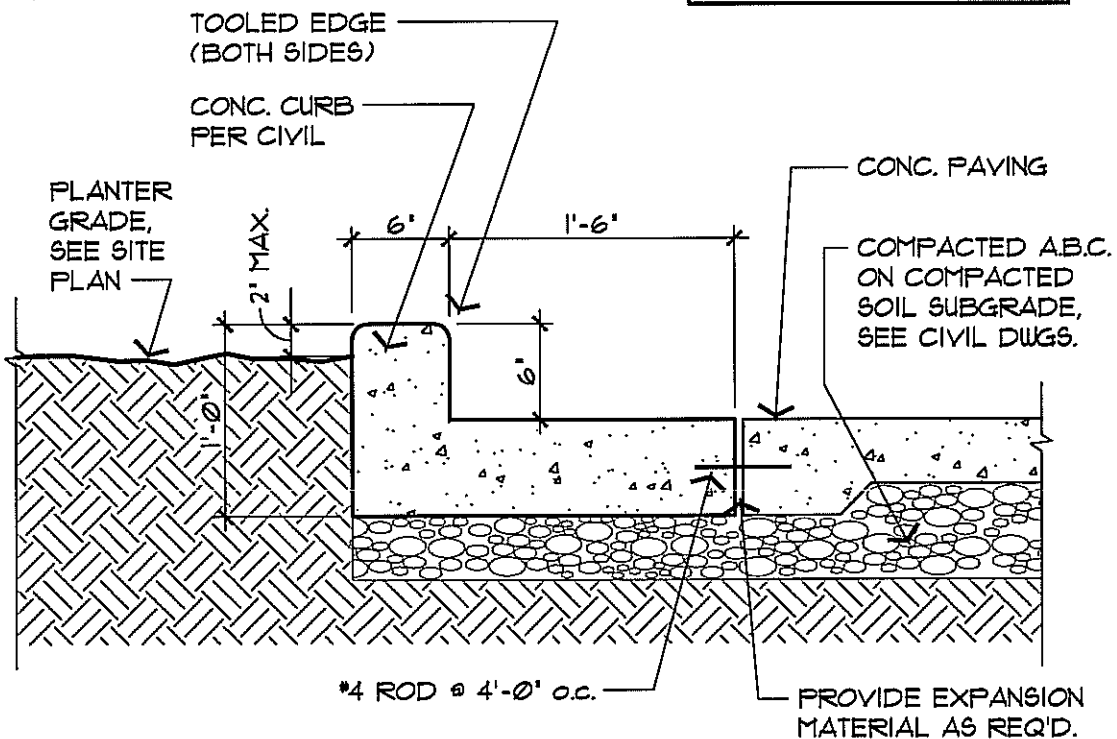


C AT PLANTER

REFER TO CIVIL DWGS. FOR ALL STANDARD CURBS, TYP.



REFER TO CIVIL DWGS.
FOR ADDITIONAL PAVING
INFORMATION

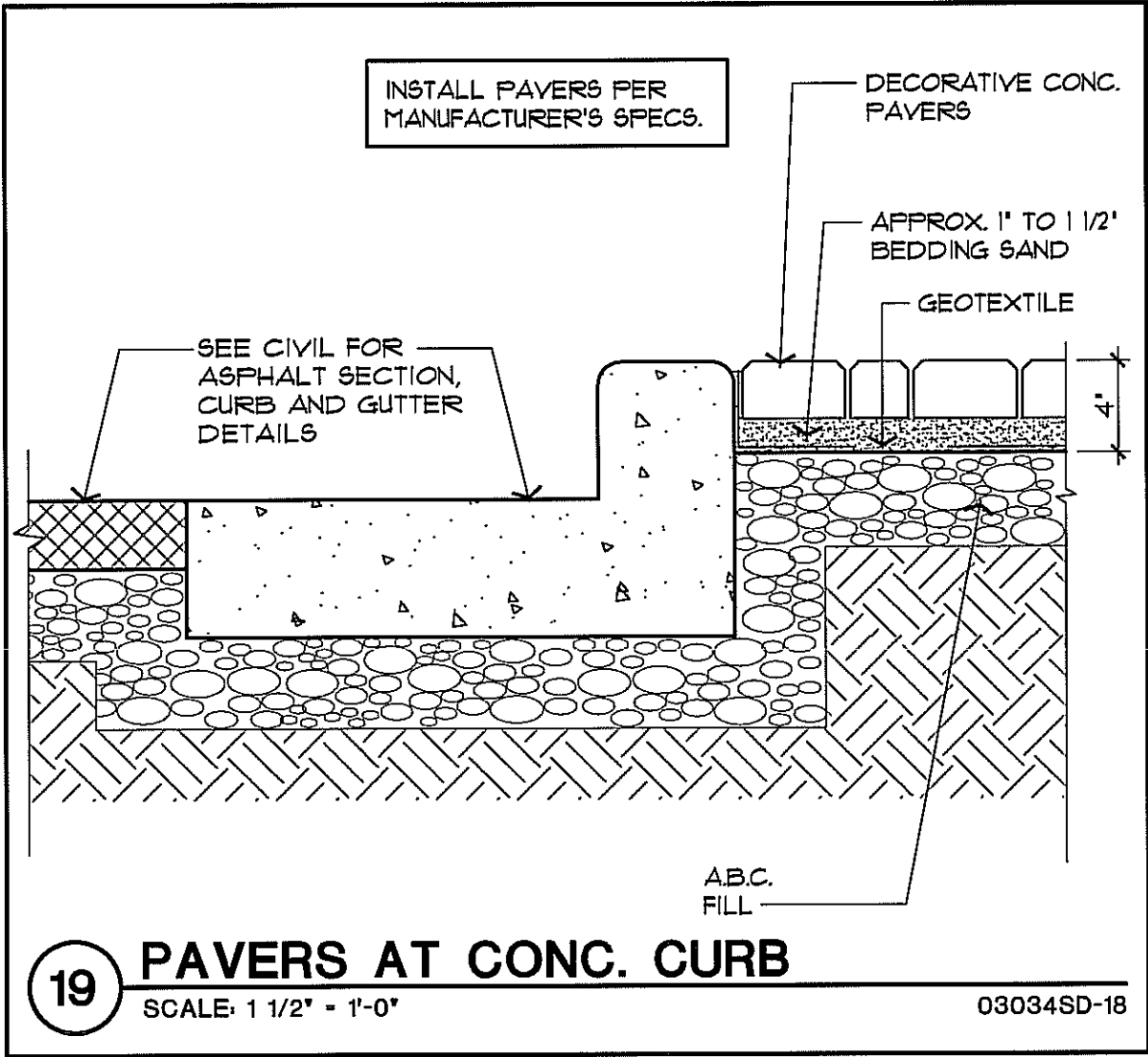


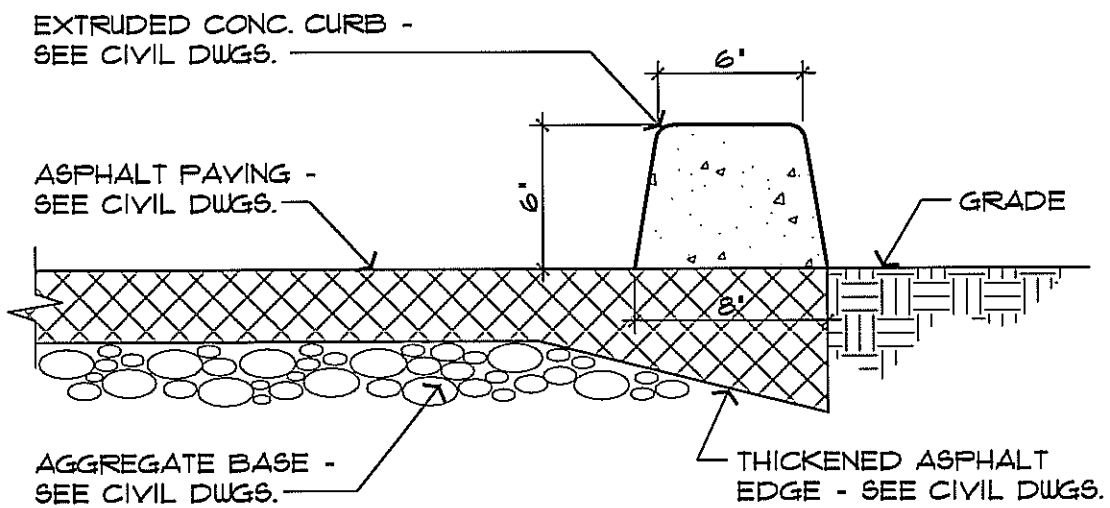
18

CONCRETE AT CURB & GUTTER

SCALE: 1" = 1'-0"

03034SD-35



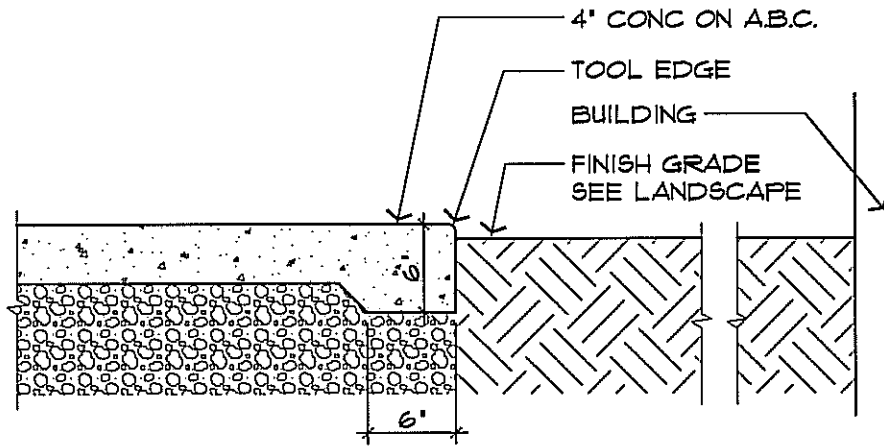


20

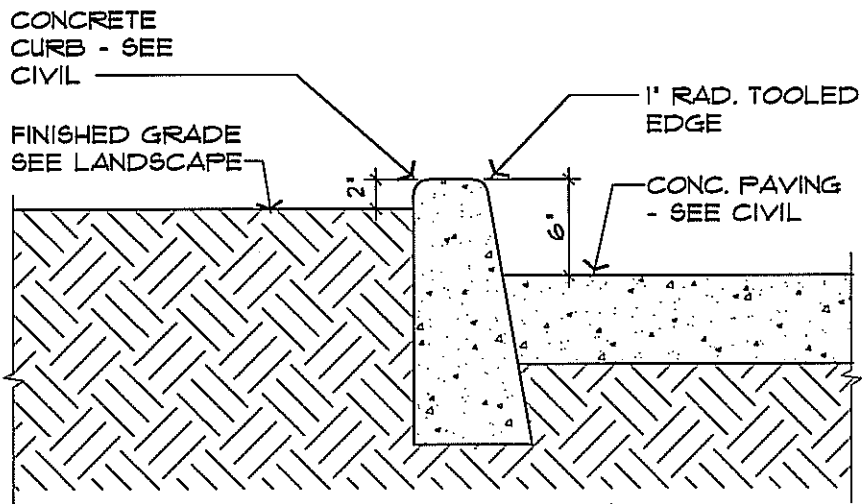
TYP. TEMPORARY CURB

SCALE: 1 1/2" = 1'-0"

03034SD-34



A SIDEWALK AT EDGE

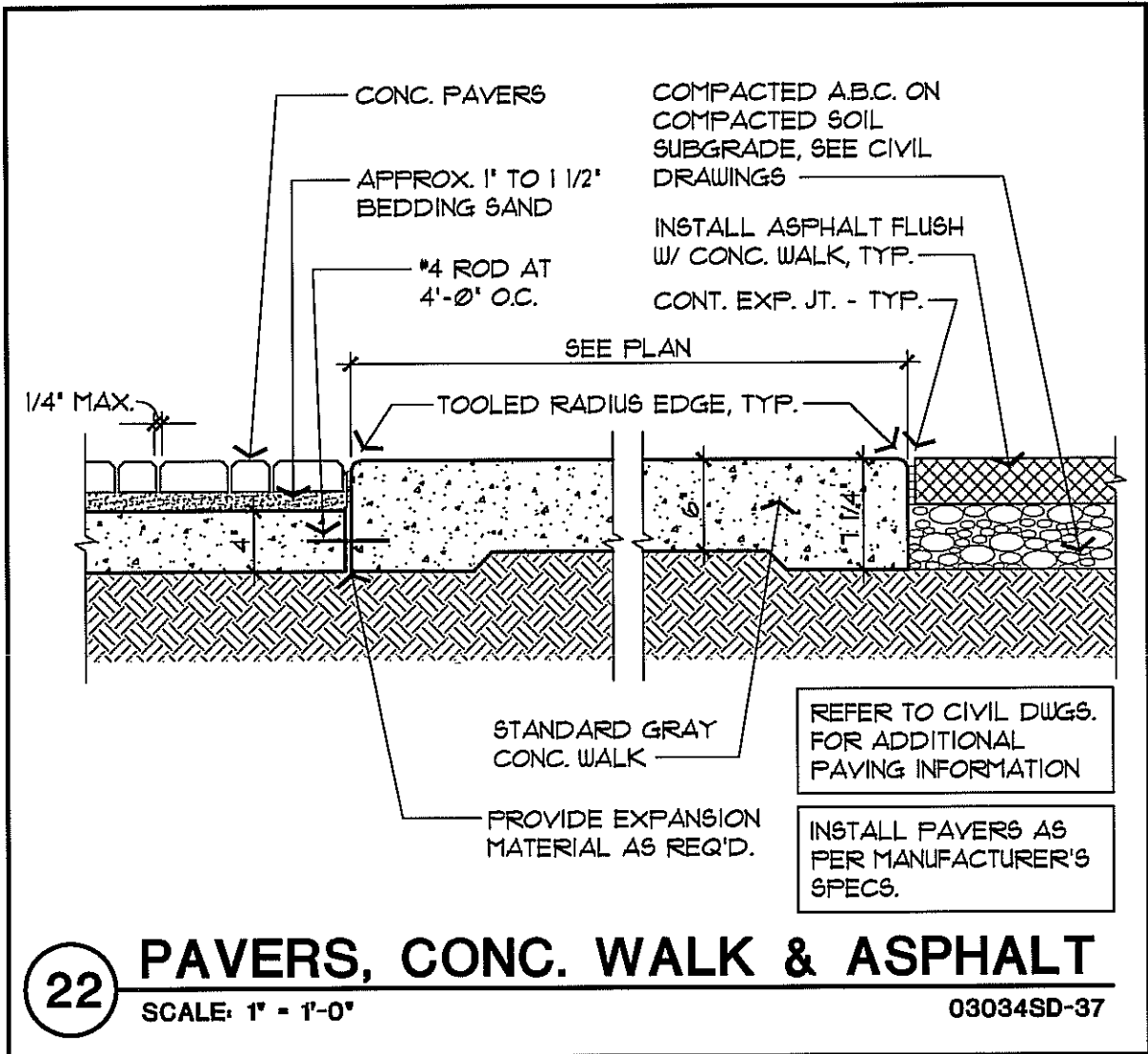


B C.I.P. CURB AT CONCRETE

21 SIDEWALK / CURB EDGES

SCALE: 1 1/2" = 1'-0"

03034SD-19



STANDARD GRAY
CONC. WALK W/ LIGHT
BROOM FINISH

TOOLED RADIUS
EDGE, TYP.

INSTALL
ASPHALT
FLUSH W/
CONC., TYP.

CONT. EXP. JT. - TYP.

INSTALL ASPHALT
FLUSH W/ CONC., TYP.

SEE PLAN

COMPACTED A.B.C.
ON COMPACTED
SOIL SUBGRADE,
SEE CIVIL DRAWINGS

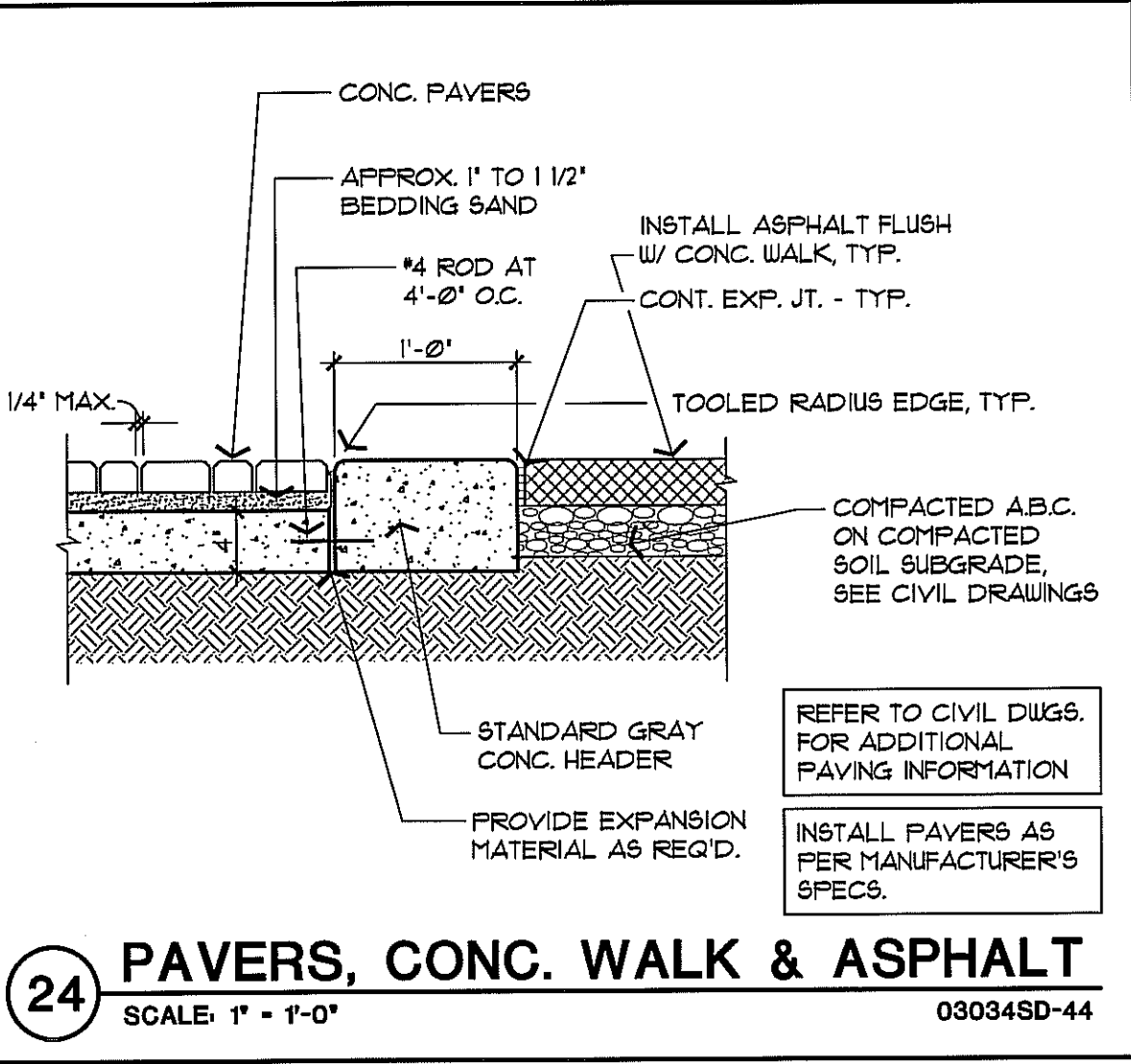
REFER TO CIVIL DWGS.
FOR ADDITIONAL
PAVING INFORMATION

23

ASPHALT, CONC. WALK & ASPHALT

SCALE: 1" = 1'-0"

03034SD-38



24

PAVERS, CONC. WALK & ASPHALT

SCALE: 1" = 1'-0"

03034SD-44

INTEGRAL COLORED
CONC. W/ LIGHT
BROOM FINISH

TOOLED RADIUS
EDGE, TYP.

DECORATIVE
PAVERS

1/4' MAX.

SEE PLAN

CONT. EXP. JT. - TYP.

INSTALL ASPHALT
FLUSH W/ CONC., TYP.

1" SAND

COMPACTED A.B.C. ON
COMPACTED SOIL
SUBGRADE, SEE CIVIL
DRAWINGS

REFER TO CIVIL DWGS.
FOR ADDITIONAL
PAYING INFORMATION

25

SECTION THRU CROSSWALK

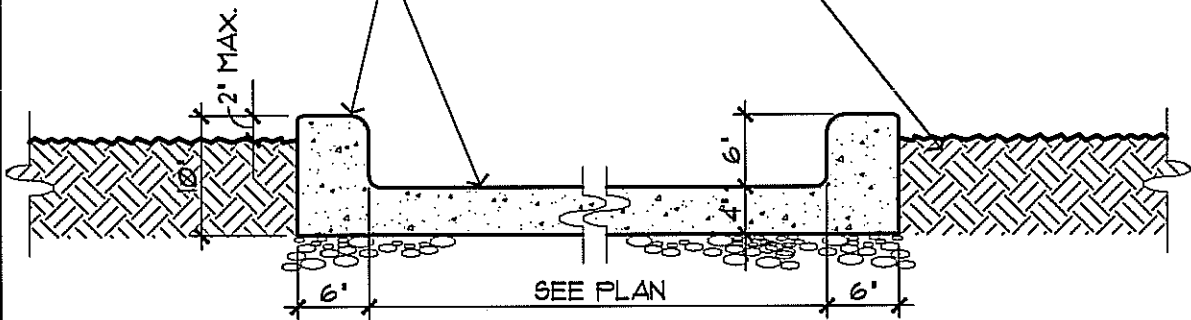
SCALE: 1" = 1'-0"

03034SD-31

REFER TO CIVIL DWGS.
FOR STANDARD CURBS

CONC. WALK AND CURB -
SEE CIVIL DWGS.

PLANTER GRADE - TYP.
- SEE SITE PLAN

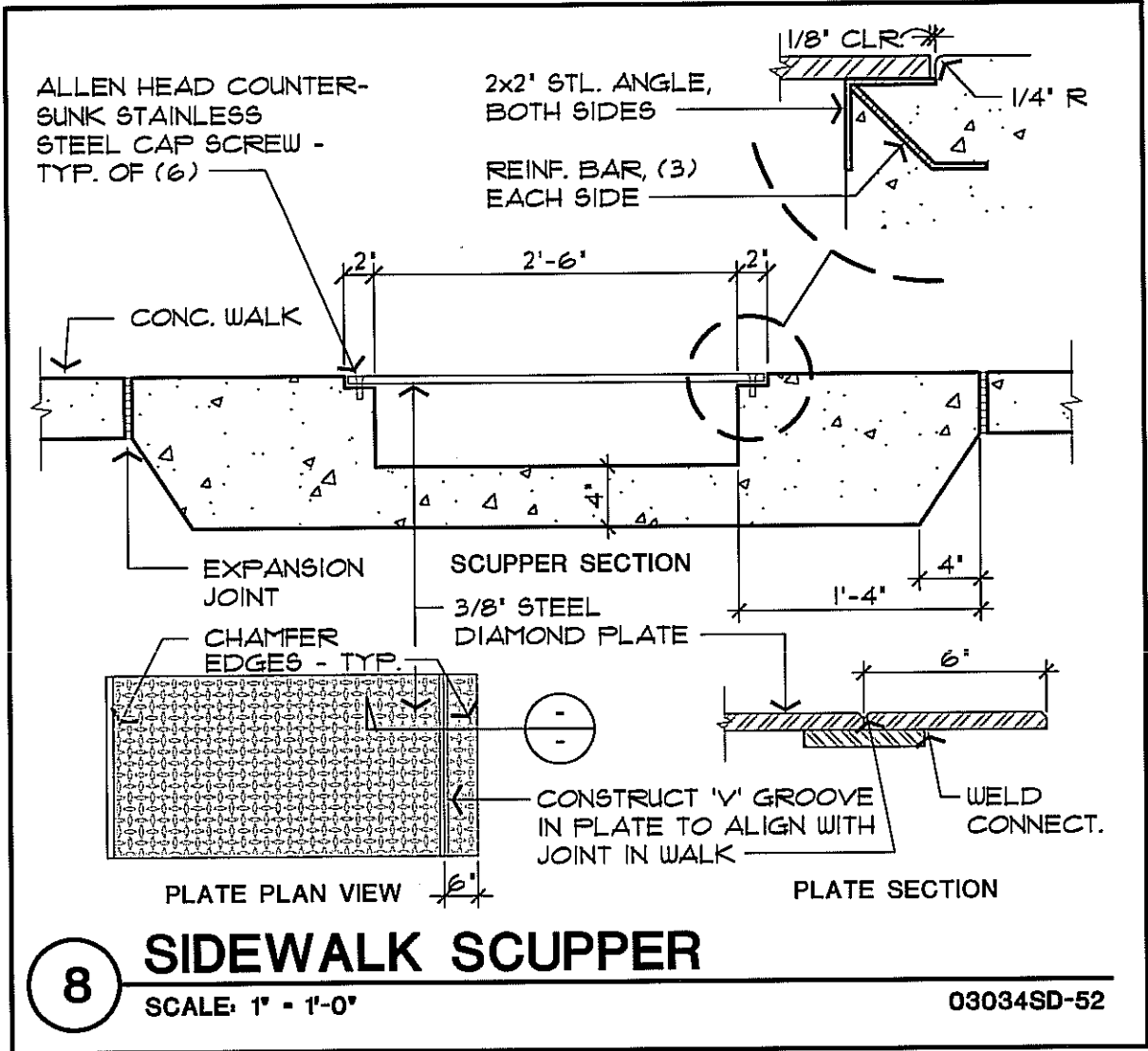


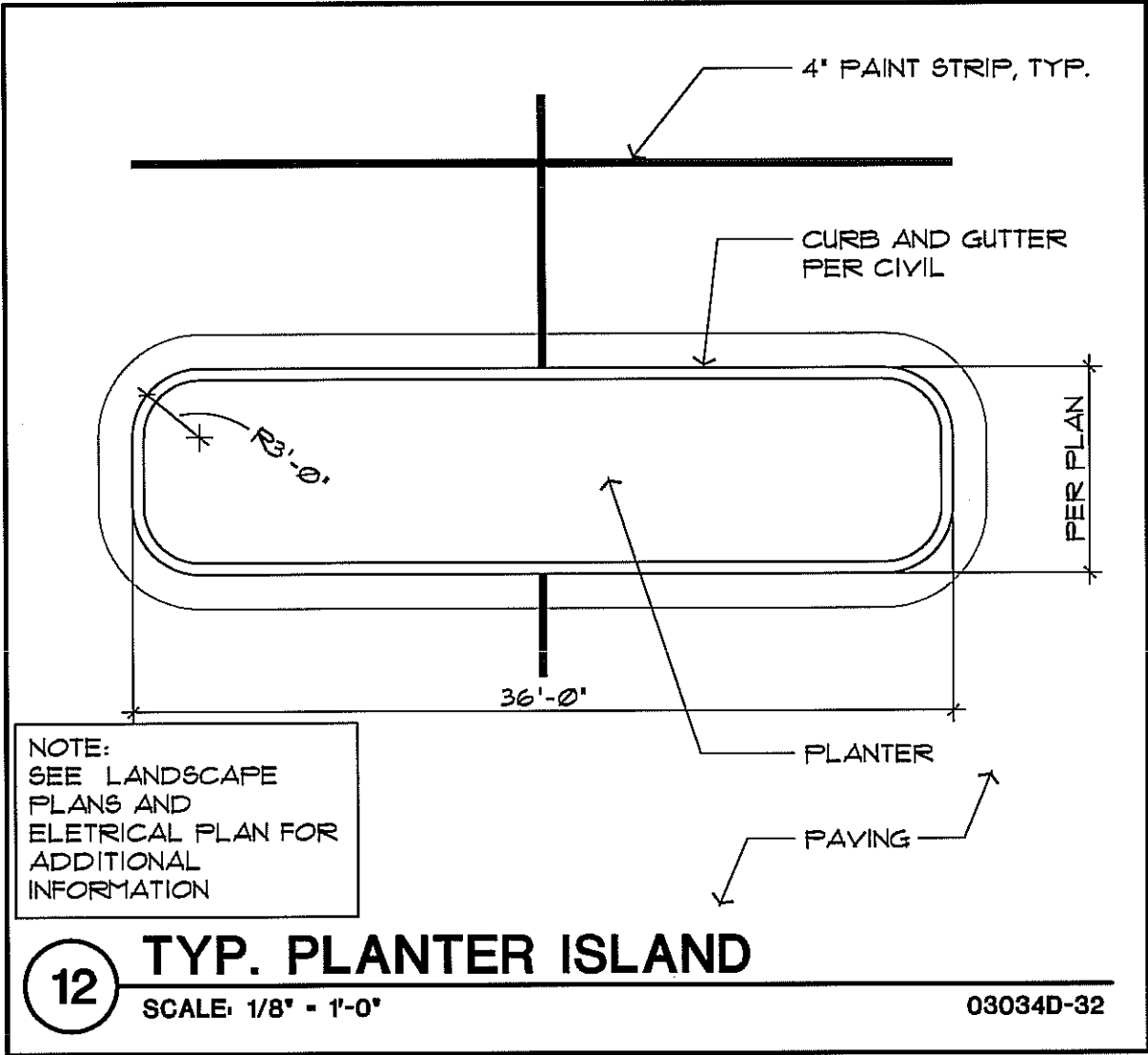
26

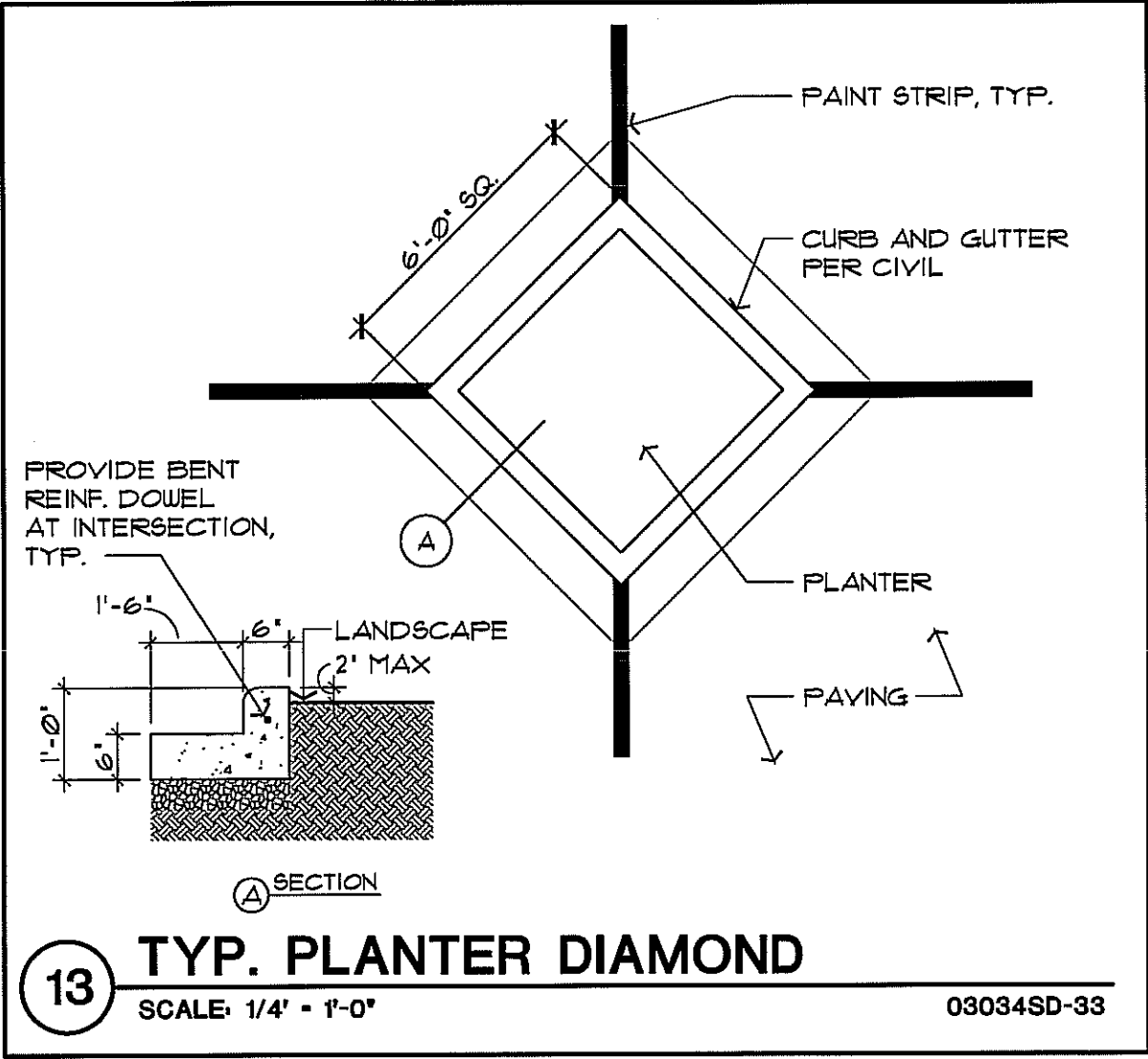
DEPRESSED WALK WITH CURB

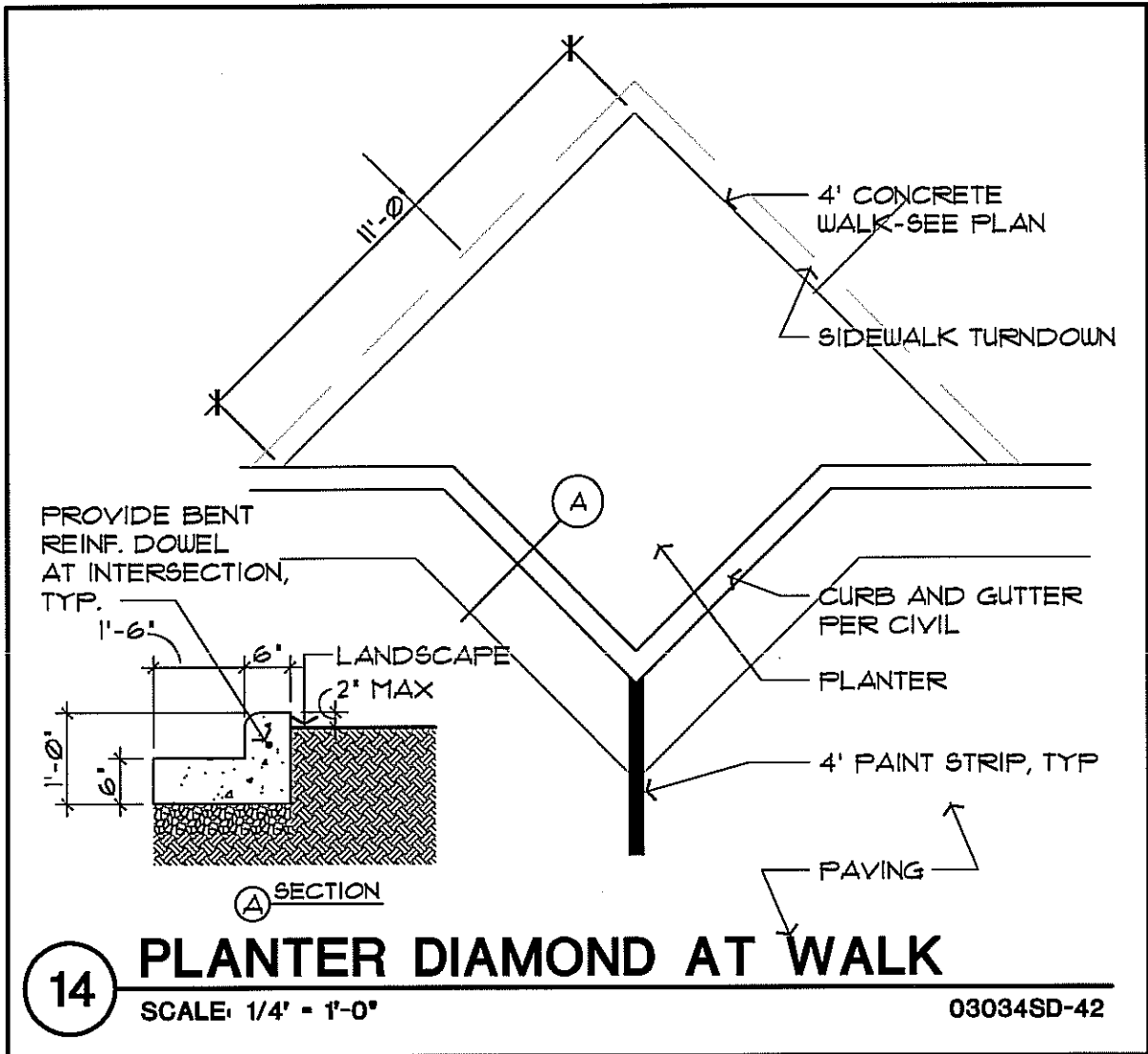
SCALE: 3/4" = 1'-0"

03034SD-30





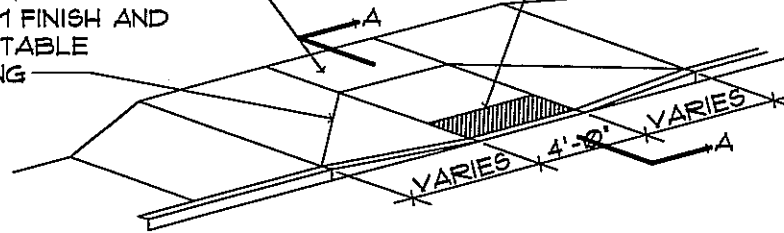




TOP OF CONC. TO MATCH
SIDEWALK ELEV.

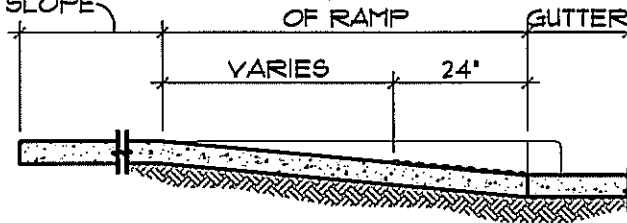
LIMITS OF RAMP WITH
HEAVY ROUGH
BROOM FINISH AND
DETECTABLE
WARNING

LIMITS OF DETECTABLE
WARNING SURFACE



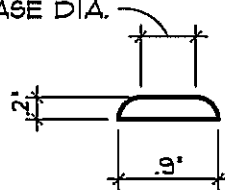
4' MIN. SIDEWALK
2% MAX. 1.5% MIN.
CROSS SLOPE

SLOPE 1:12 MAX.
ALL DIRECTIONS
OF RAMP

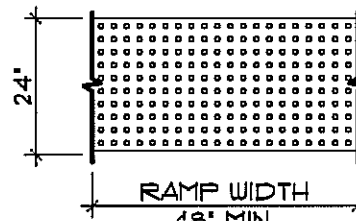


SECTION A-A
N.T.S.

THE TOP DIA. OF THE
TRUNCATED DOMES
SHALL BE 50% TO 65%
OF THE BASE DIA.



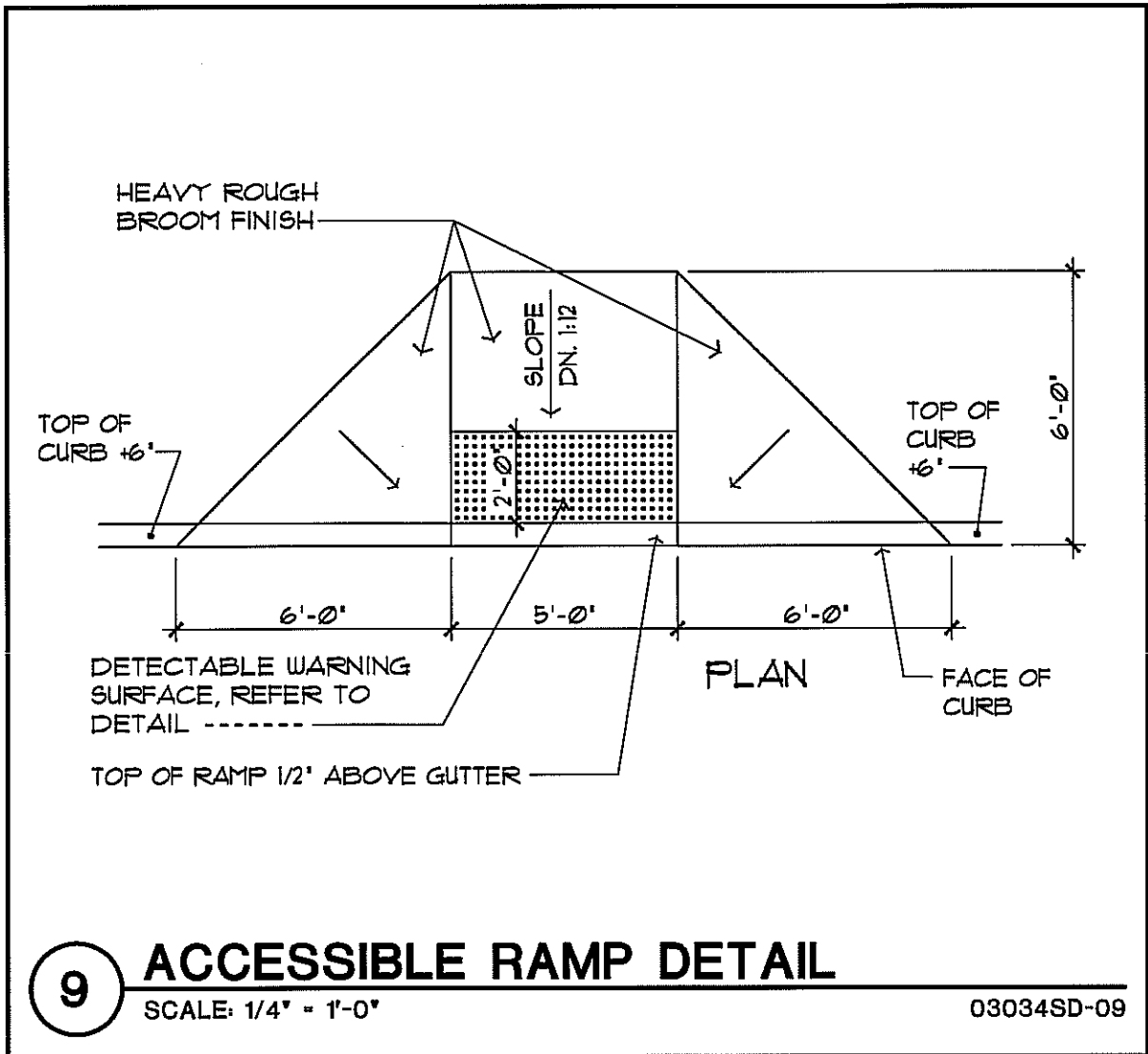
ELEVATION
N.T.S.

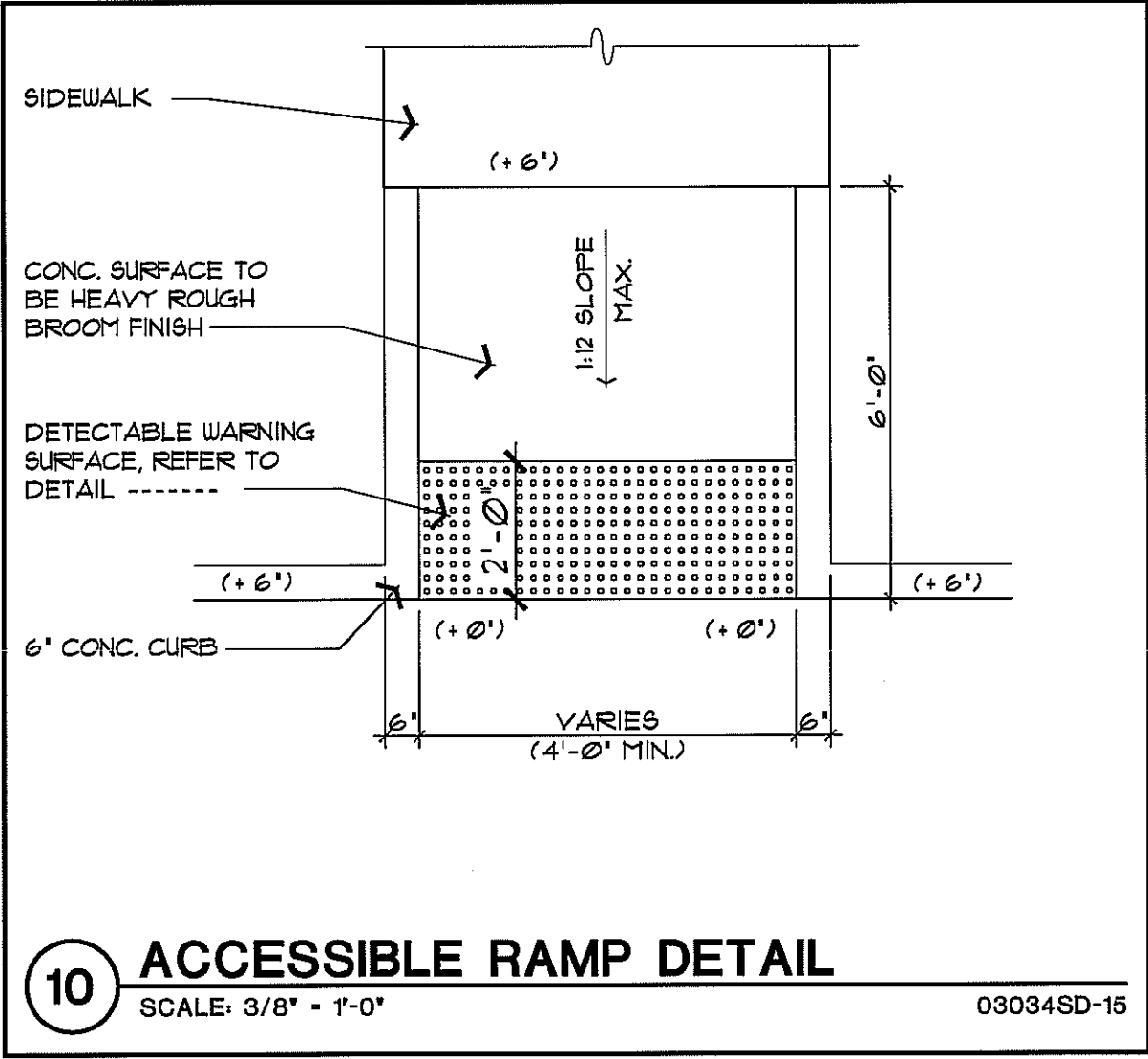


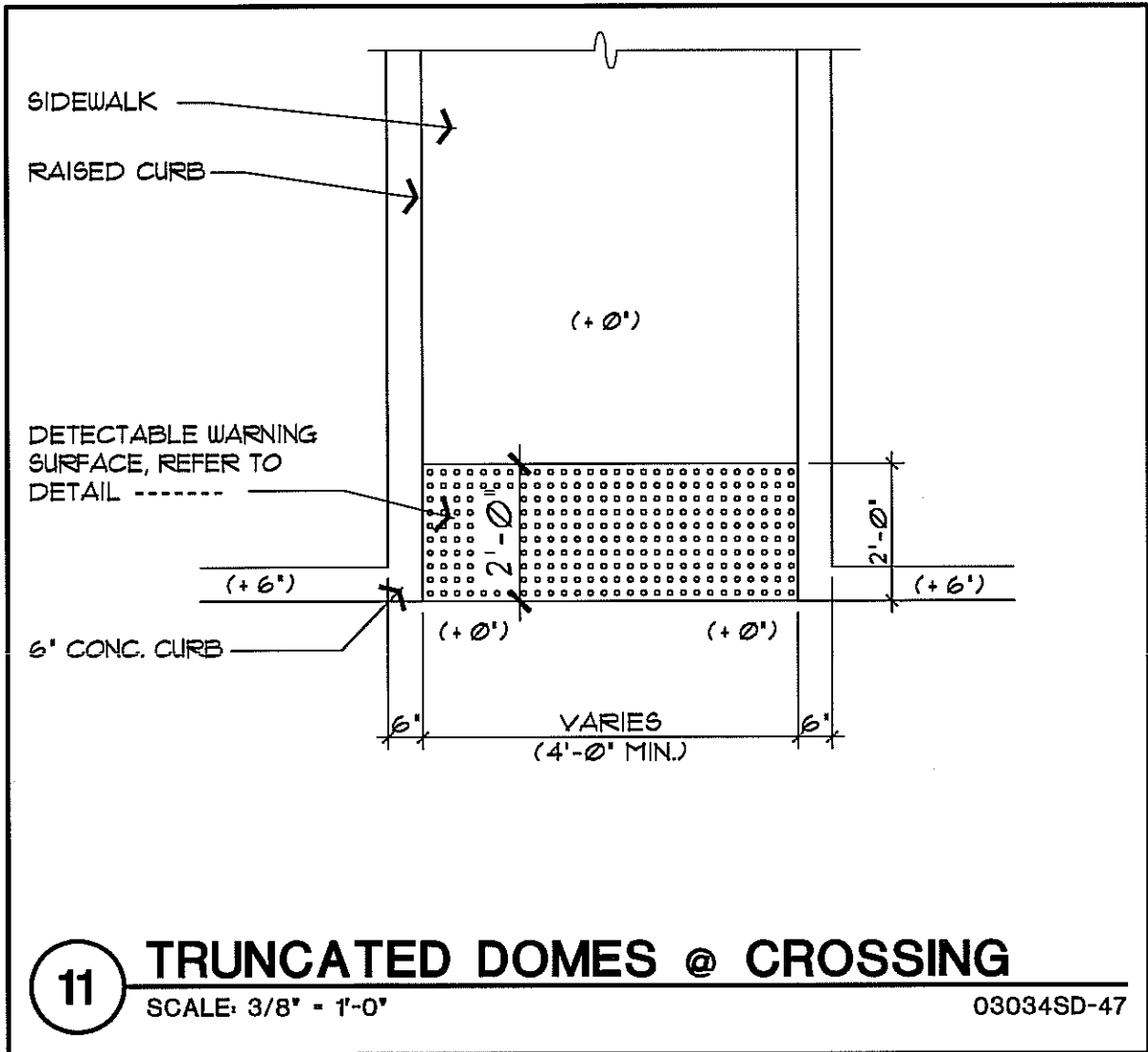
RAMP WIDTH
48" MIN.
PLAN VIEW
N.T.S.

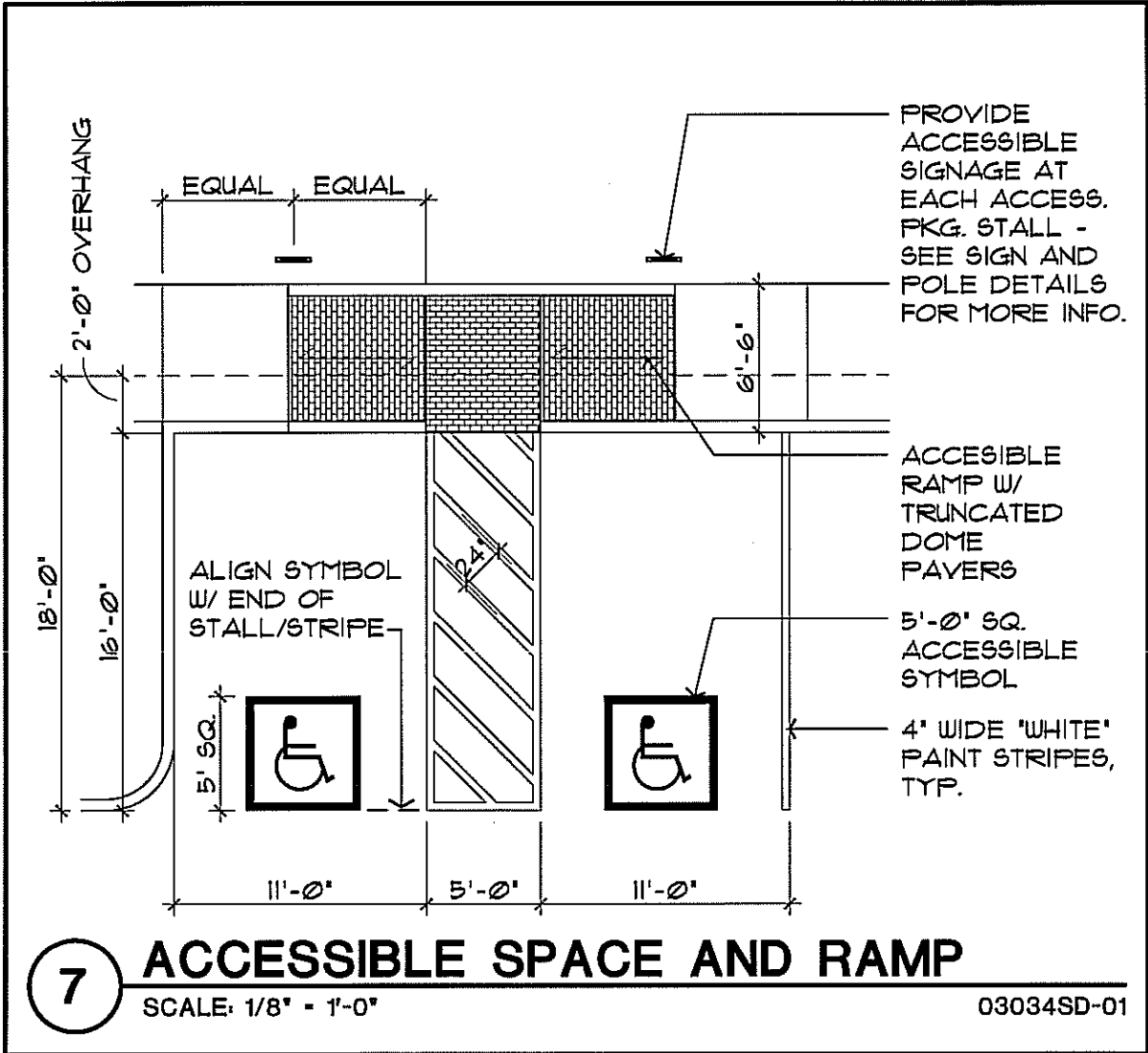
NOTES:

1. ALL RAMPs SHALL BE DIRECTIONAL TYPE RAMPs, CITY OF TEMPE DETAILS AND AS SHOWN ON PLANS.
2. DETECTABLE WARNING SHALL CONSIST OF RAISED TRUNCATED DOMES MANUFACTURED BY 'COTE-L INDUSTRIES, INC.' CALLED 'SAFTI-TRAX', WITH POLYURETHANE COATING 'DURABAK', OR APPROVED EQUAL. APPLIED ON SMOOTH (NON-GROVED) CLEAN CONC. RAMP, AND SHALL CONFORM TO THE DETAILS IN THE PLANS AND IN ACCORDANCE WITH MANUFACTURER'S SPEC'S AND INSTALLATION INSTRUCTIONS.
3. ALL DETECTABLE WARNING AREAS SHALL START AT BACK OF CURB, BE 24' INCHES IN DEPTH AND COVER THE COMPLETE WIDTH OF THE RAMP AREA 48 INCHES MIN.
4. VISUAL CONTRAST SHALL BE OBTAINED BY COLOR, (SAFETY YELLOW). THE COLOR SHALL BE INTEGRAL PART OF THE DETECTABLE WARNING MATERIAL.
5. THE SMOOTH AND CLEAN CONC. UNDER DETECTABLE WARNING DEVICE AREA SHALL BE INCLUDED IN THE COST OF THE CONCRETE CURB RAMP. THE COST OF FURNISHING AND INSTALLING THE DETECTABLE WARNING DEVICE SHALL BE INCLUDED SEPARATLY AS 'DETECTABLE WARNING DEVICE' PER SQ. FT.
6. DETECTABLE WARNING SURFACE:
APPLIED A COATING OF 'DURABAK' SAFETY YELLOW SLIP-RESISTANT POLYURETHANE COATING TO THE SMOOTH, CLEAN CONC. SURFACE. ON TOP OF THE POLYURATHANE COATING APPLY TRUNCATED DOMES FROM A 'SAFETY-TRAX' CONTACT SHEET. ON TOP OF THE TRUNCATED DOMES AND INITIAL POLYURATHANE COATING PLACE THREE ADDITIONAL COATS OF 'DURBAK' SAFETY YELLOW POLYURATHANE COATING.







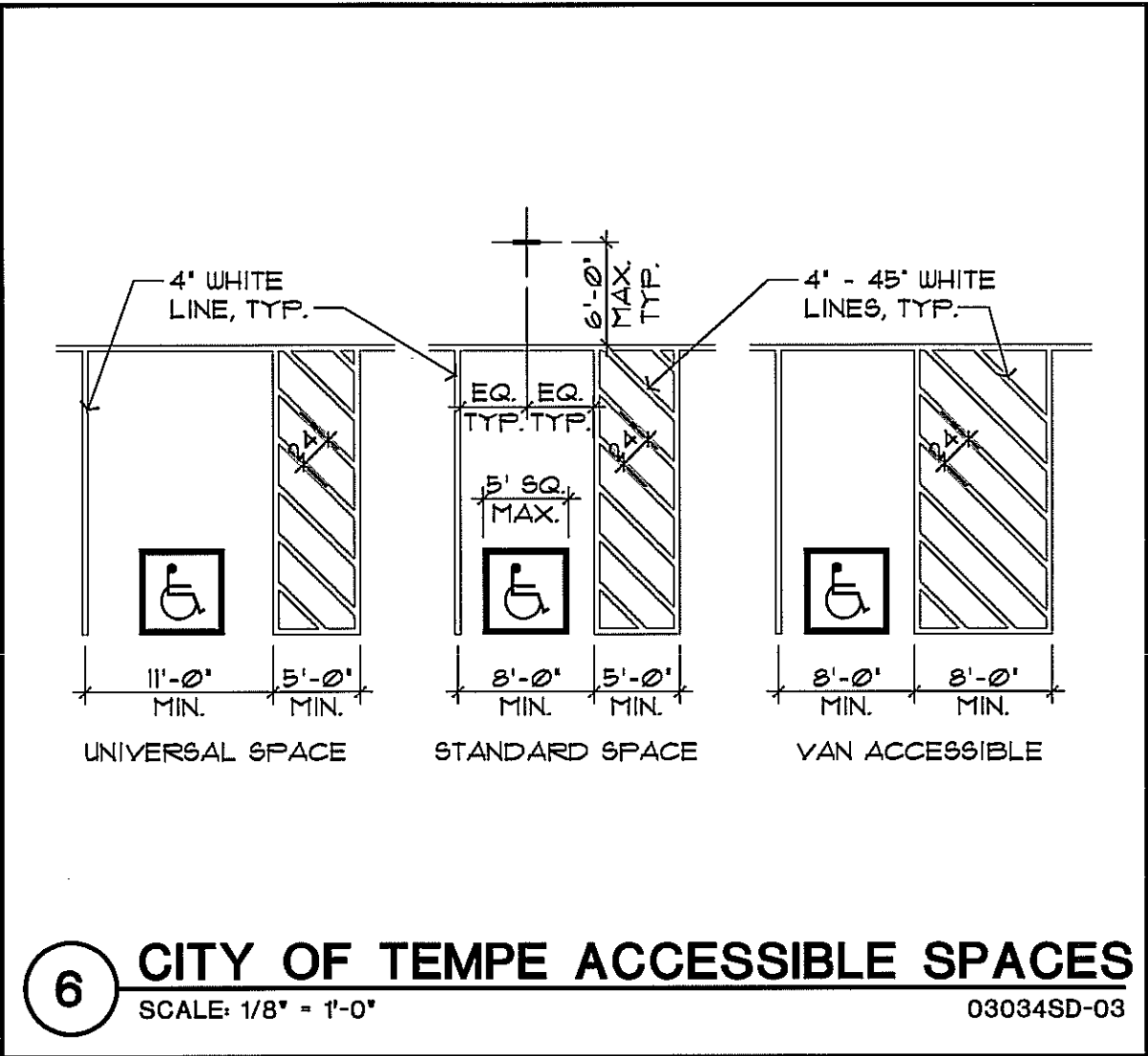


7

ACCESSIBLE SPACE AND RAMP

SCALE: 1/8" = 1'-0"

03034SD-01

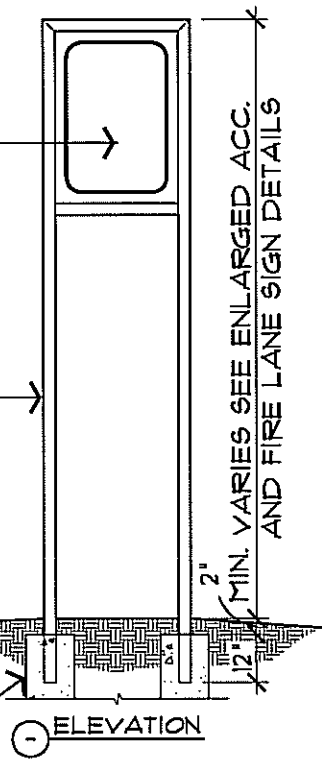


TYP. SIGN - ACC./FIRE
LANE ETC.

2" SQ. TUBE FRAME -
PAINTED - COLOR:

FINISHED GRADE

6" DIA. x 24" DEEP
CONC. FOOTING



MIN. VARIES SEE ENLARGED ACC.
AND FIRE LANE SIGN DETAILS

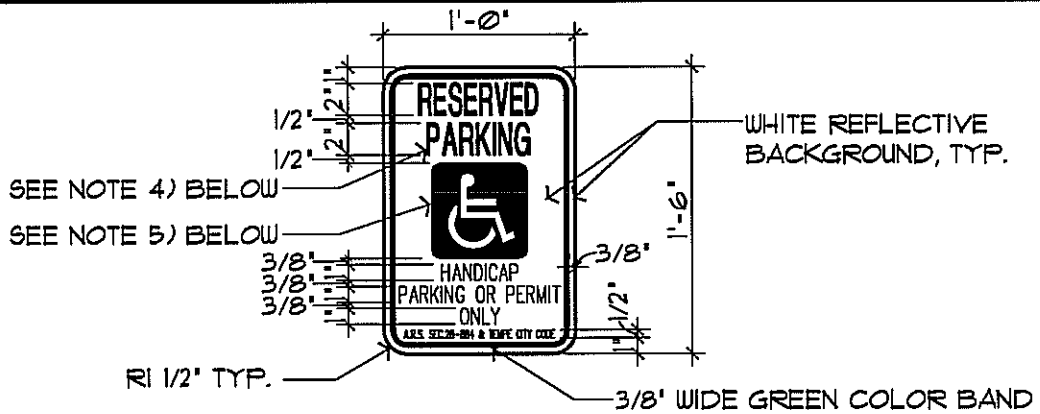
ELEVATION

5

TYPICAL POST BASE

SCALE: 1/2"=1'-0"

03034SD-49



NOTES FOR ACCESSIBLE PARKING SIGN & PARKING SPACE:

- 1) THE BOTTOM OF THE SIGN SHALL BE NO LESS THAN 36" INCHES AND NO MORE THAN 72 INCHES ABOVE FINISH GRADE.
- 2) SIGNS SHALL BE PROPERLY CENTERED ON THE PARKING SPACE. THE SIGN FACE SHOULD BE LOCATED NO FARTHER THAN 6 FEET FROM THE FRONT OF EACH PARKING SPACE.
- 3) ALL LETTERING SERIES 'C' GREEN COLOR.
- 4) INTERNATIONAL SYMBOL OF ACCESSIBILITY ON PARKING SIGN SHOWN WHITE ON 6"x6" BLUE FIELD WITH 1/2" RADIUS CORNERS.
- 5) THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACES MARKINGS SHALL BE PLACED IN EACH PARKING SPACED DESIGNATED FOR USE BY PERSONS WITH DISABILITIES.
- 6) A BLUE BACKGROUND WITH WHITE BORDER MAY SUPPLEMENT THE WHEELCHAIR SYMBOL. ACCESSIBLE PARKING SIGN STANDARD AS DESIGNATED BY THE CITY OF TEMPE CODE CHAPTER 19, SECTION 19-93.

1

ACCESSIBLE PARKING SIGN

SCALE: 1" = 1'-0"

03034SD-08

SIGNAGE TO COMPLY
W/ CITY OF TEMPE
STANDARDS.

DOUBLE SIDED SIGN,
ALONG FIRE ACCESS
75' APART, MAX.

2" SERIES 'C' GREEN
COLOR LETTERS

GREEN COLOR BAND

WHITE REFLECTIVE
BACKGROUND, TYP.

1'-6"

2" SQUARE TUBE
FRAME - PAINTED
TO MATCH
BUILDING COLOR

1'-6"

8'-6" ABOVE FIN. GRADE

**FIRE
LANE
NO
PARKING**

BY ORDER OF THE
FIRE MARSHALL

1'-0"

1/4" x 1 1/2" STEEL
PLATE WELDED
AT CENTERLINE
OF TUBE

3

FIRE LANE SIGN

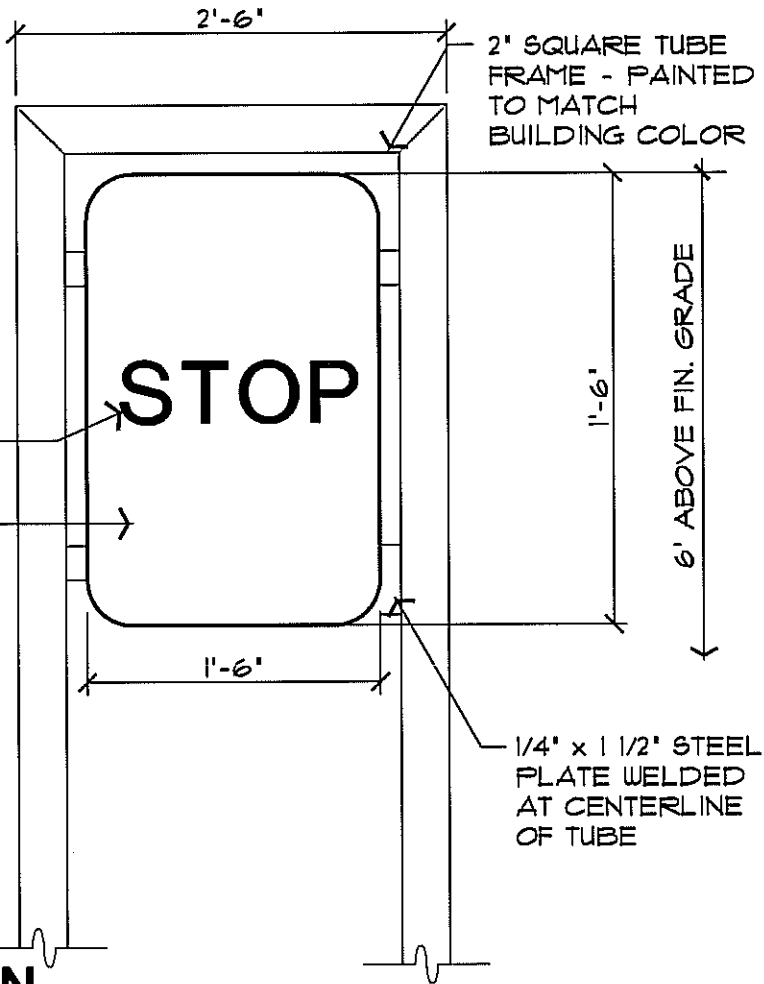
SCALE: 1 1/2" = 1'-0"

03034SD-13

SIGNAGE TO COMPLY
W/ CITY OF TEMPE
STANDARDS.

5" SERIES RED
COLOR LETTERS

WHITE REFLECTIVE
BACKGROUND, TYP.



4

STOP SIGN

SCALE: 1 1/2" = 1'-0"

03034SD-48

LIST OF LANDSCAPE EXHIBITS

1. Approved Landscape Palette
2. Conceptual Landscape Plan
3. Main Drive
4. Main Entry Drive Landscape Enlargement
5. Shaded Pedestrian Walkway
6. Parking Lot Screen Wall Detail