



Developed by:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Design Architects:



**HTH Group LLP**  
8383 Wilshire Boulevard Suite 228  
Beverly Hills, California 90211  
T.323.782.0060 F.323.782.1081

Executive Architects:



**Butler Design Group Inc.**  
Architects & Planners  
5555 East Van Buren St.  
Suite 215  
Phoenix, Arizona 85008  
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fax 602-957-7722

Signage Consultant:



2030 WEST DESERT COVE AVE.  
PHOENIX, ARIZONA 85029  
602.944.3117  
FAX 602.395.0753  
SALES@BLEIERINDUSTRIES.COM

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# C O M P R E H E N S I V E   S I G N   P L A N

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Updated Package - May, 2006



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**Freestanding Signage and Wayfinding System**

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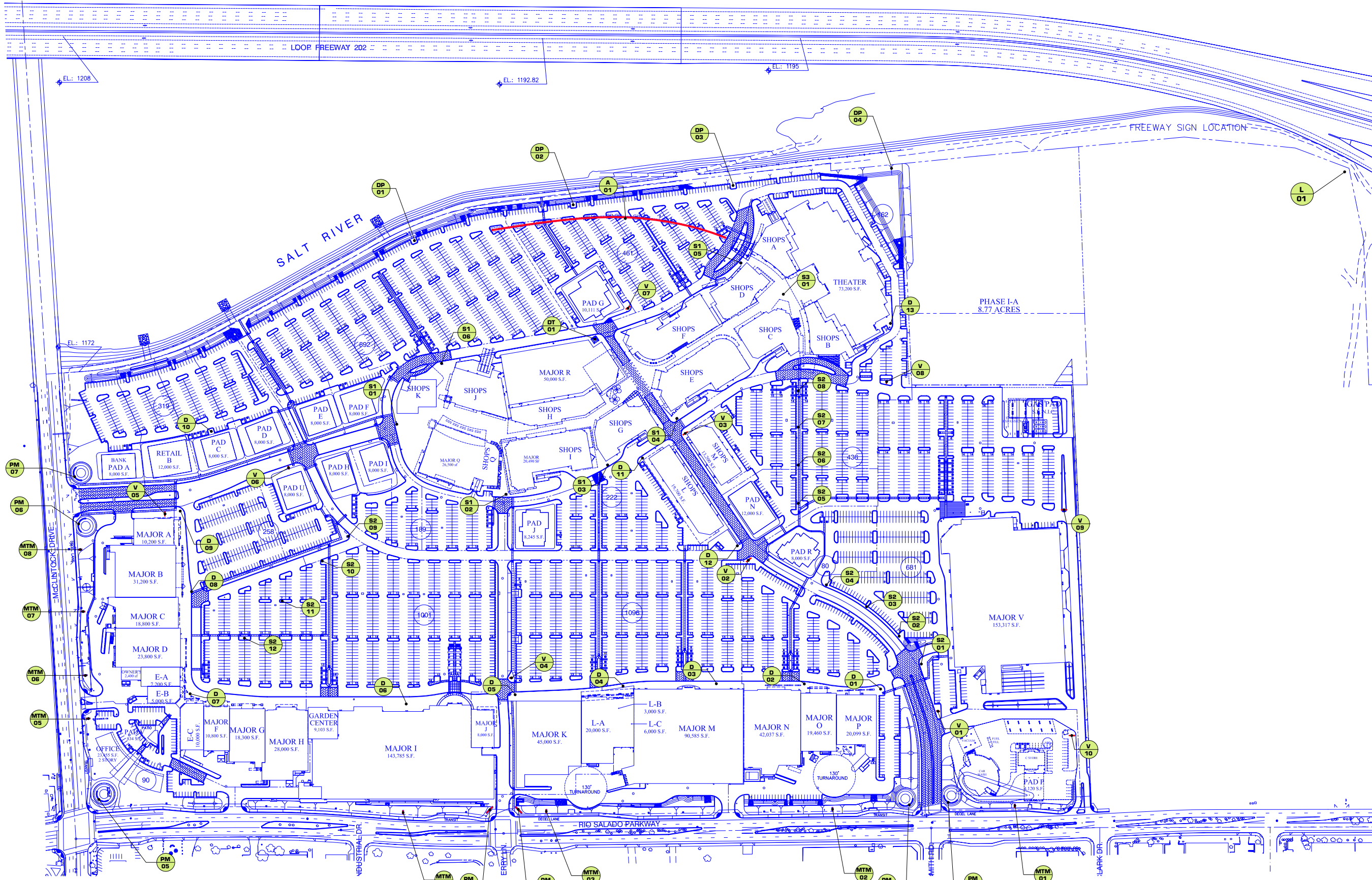
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## Freestanding Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	QUANTITY	HEIGHT	SIZE	ILLUMINATION	MATERIALS
<b>L - Freeway Landmark</b>	Landmark Pylon	Center ID	Visible to the intersection of the Loop 202 and Loop 101 Freeways	1	One Hundred (100') Feet to top of Pylon	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics
<b>DT - District Tower</b>	Tower	District ID	Placed within "The District"	1	Ninety (90') feet to top of Sign Panel	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics
<b>S1 - District Stylon</b>	Stylon	District ID	Placed at Primary Entryways to "The District"	6	Twenty Seven (27') feet to top of Sign Panel	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics
<b>S2 - Image Stylon</b>	Stylon	Thematic	Within Project Site Located in Traffic Islands	12	Twenty Five Feet Six Inches (25'6") to top of Theme Graphic	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics
<b>S3 - Canopy Stylon</b>	Stylon	Thematic	Placed within "The District"	1	Thirty Four (34') feet to top of Theme Graphic Exclusive of Laser Beacon	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics
<b>PM - Primary Monument</b>	Monument	Center ID	Primary Entry Drives on McClintock Drive and Rio Salado Parkway and at the intersection of the two roadways	7	Seven Feet Six Inches (7'6") to top of Monument	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics
<b>MTM - Multi Tenant Monument</b>	Monument	Major Tenant Identification	Along McClintock Drive and Rio Salado Parkway	8	Fifteen (15') Feet to top of Monument	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics
<b>V - Primary Vehicular Directional</b>	Monument	Primary Vehicular Directional	Within Project Site Located in Traffic Islands	10	Nine Feet Three Inches (9'3") to top of Monument	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics
<b>D - Directory Kiosk</b>	Freestanding Kiosk	Directory and Thematic Presentation	Throughout Project Site	13	Eleven Feet (11') to top of Kiosk	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics
<b>A - Graphic Arc</b>	Arc Structure	Major Tenant Identification and Thematic Presentation	North Side of "The District"	1	Thirty Six Feet Eight Inches (36'8") to top of Arc Structure	Per Approved Design	Interior, Backlit, Exposed Neon or a combination thereof.	Textured Aluminum, Powder Coat and Acrylics
<b>DP - Architectural Display Panels</b>	Freestanding Display Structure	Thematic Presentation	Along North Property Line Oriented to Loop 202	4	Sixty Four Feet (64') to top of Display Panel	Per Approved Design	Combination of Interior and Exterior Illumination	Textured Aluminum, Powder Coat and Acrylics

- 1) All freestanding signs located adjacent to McClintock Drive and Rio Salado Parkway shall be located outside of traffic visibility triangles established by the City of Tempe. Freestanding signs located within the site shall be located in a manner so as to insure that pedestrian and/or vehicular traffic visibility is not impeded. All freestanding signs shall integrate with surrounding hardscape and landscape material.
- 2) Sign Type MTM shall be limited to displaying a maximum of five (5) tenants per sign at ten (10) square feet each. No tenant shall be displayed more than once along McClintock Drive or Rio Salado Parkway.
- 3) Sign Type L shall be limited to a height of one hundred (100) feet above natural grade or sixty five (65) feet above the adjacent roadway, whichever is greater.
- 4) All external illumination fixtures utilized shall comply with the City of Tempe "Dark Sky" Ordinance.



A project for:



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Design Architects:



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90211  
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Executive Architects:

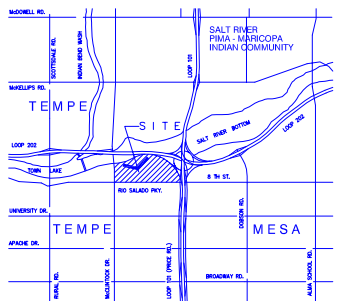
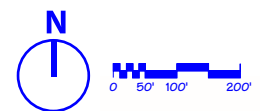


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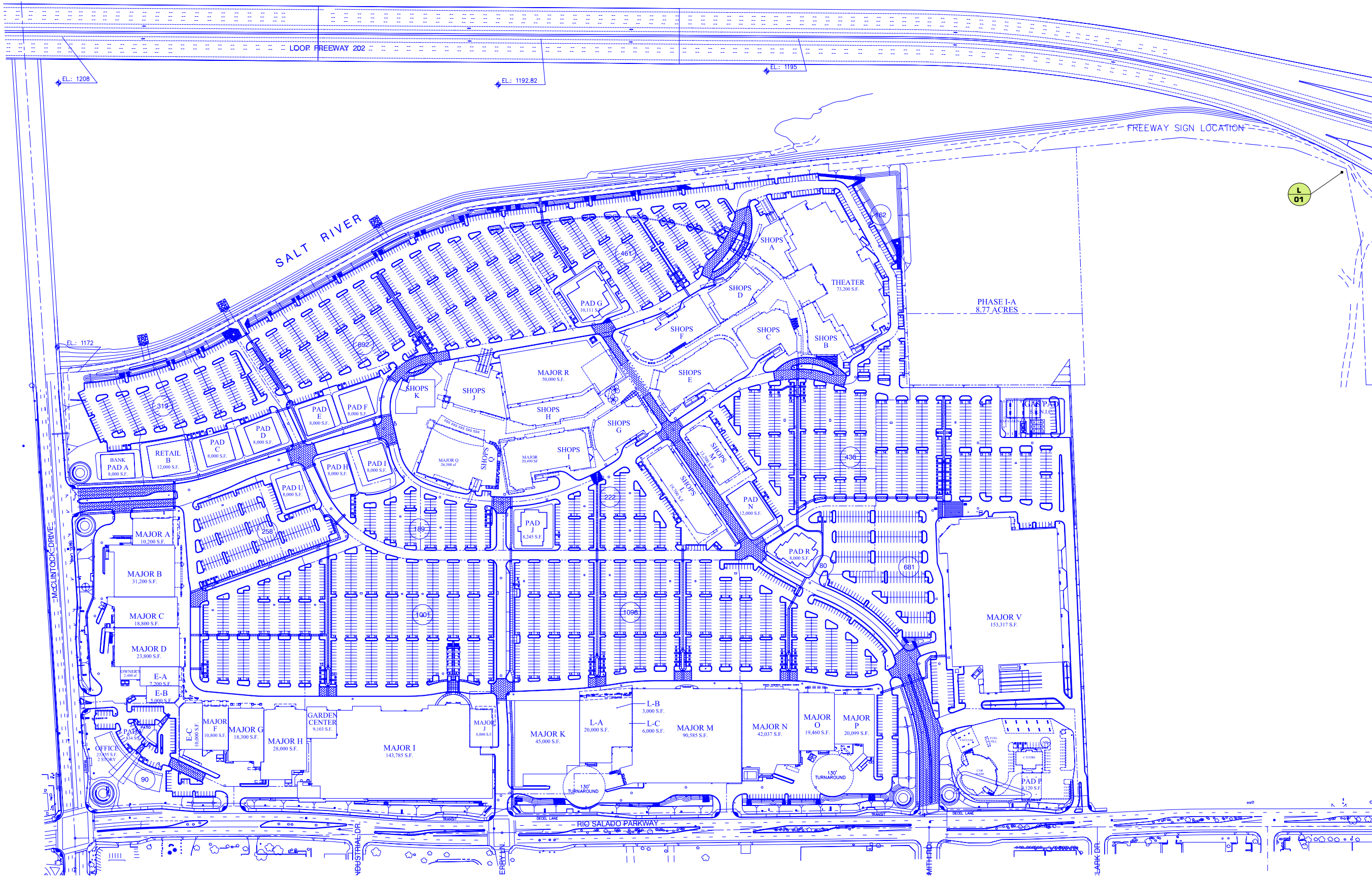
**BLEIER INDUSTRIES, LTD.**  
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VICINITY MAP

- PM-** Primary Monument
- S1-** District Identification Stylon
- V-** Primary Vehicular Directional
- MTM-** Multi-Tenant Monument
- S2-** Parking Lifestyle Stylon
- A-** Graphic Arc
- DT-** District Tower
- L-** Center Identification Landmark
- S3-** District Canopy Stylon
- D-** Directory Kiosk
- DP-** Architectural Display Panel

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Design Architects:



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 8883 Wilshire Boulevard  
 Beverly Hills, California  
 90211  
 310.278.0000

Executive Architects:

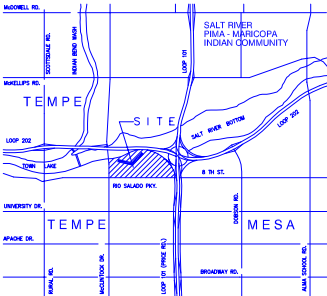
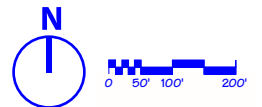


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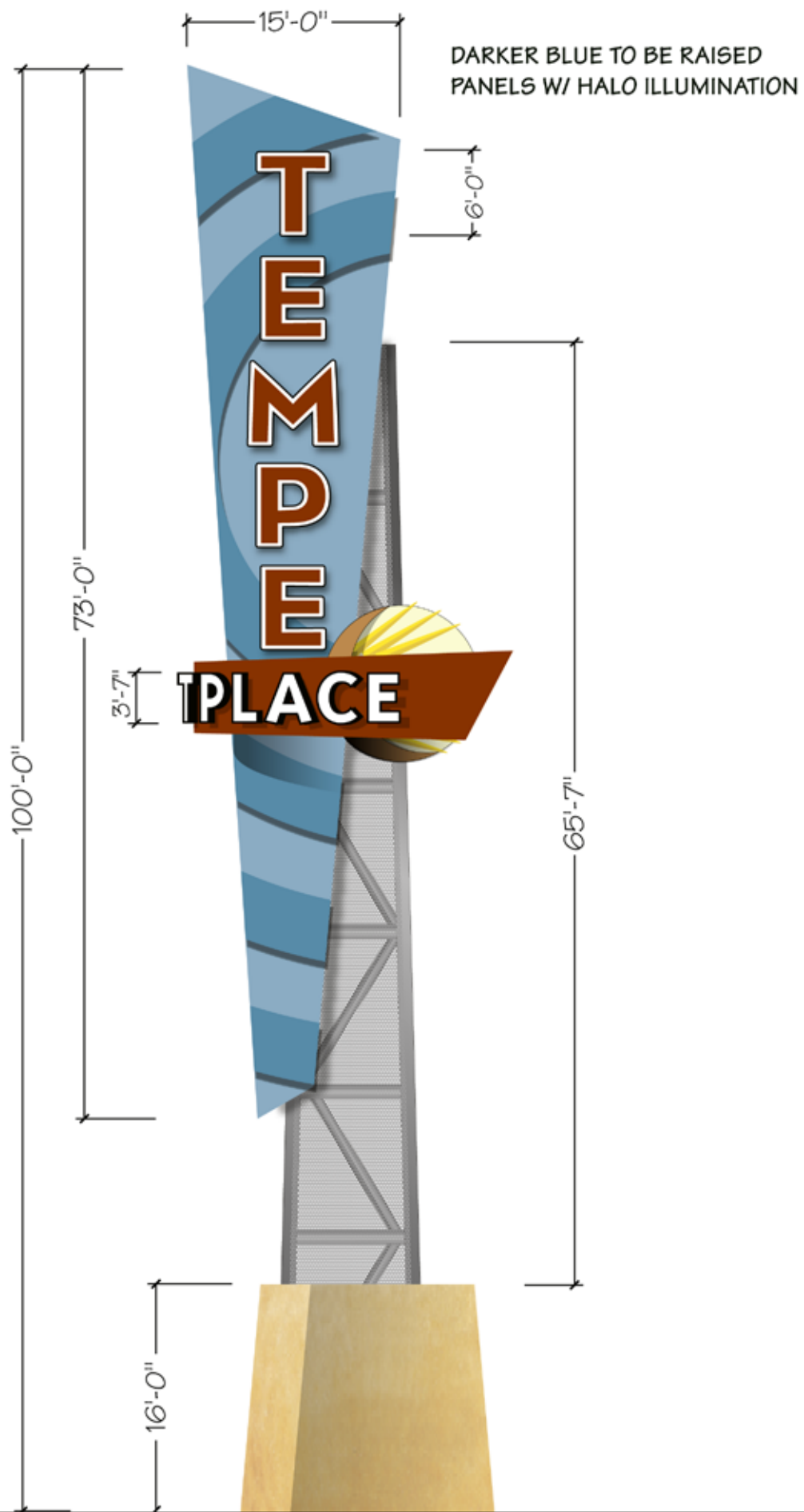
Signage Consultant:



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 SALES@BLEIERINDUSTRIES.COM



VICINITY MAP



Elevation @ Blade

Scale: 3/32"=1'0"



Prependicular to Freeway (Day)

Scale: 3/32"=1'0"



Prependicular to Freeway (Night Illumination)

Scale: 3/32"=1'0"

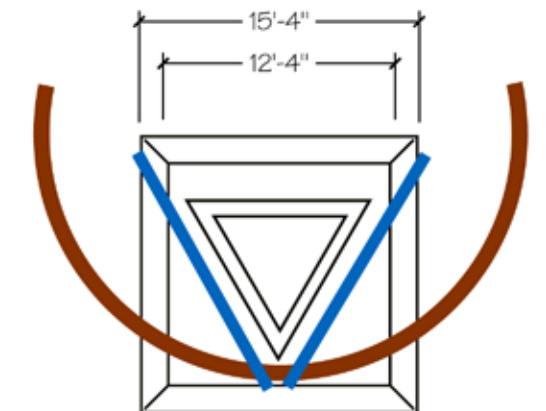
PROJECT:	
Tempe Marketplace Tempe, AZ	
TITLE:	
L- Center ID Landmark	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2004-C-012	as noted
DATE:	SHEET NO.:
04/10/06	L1

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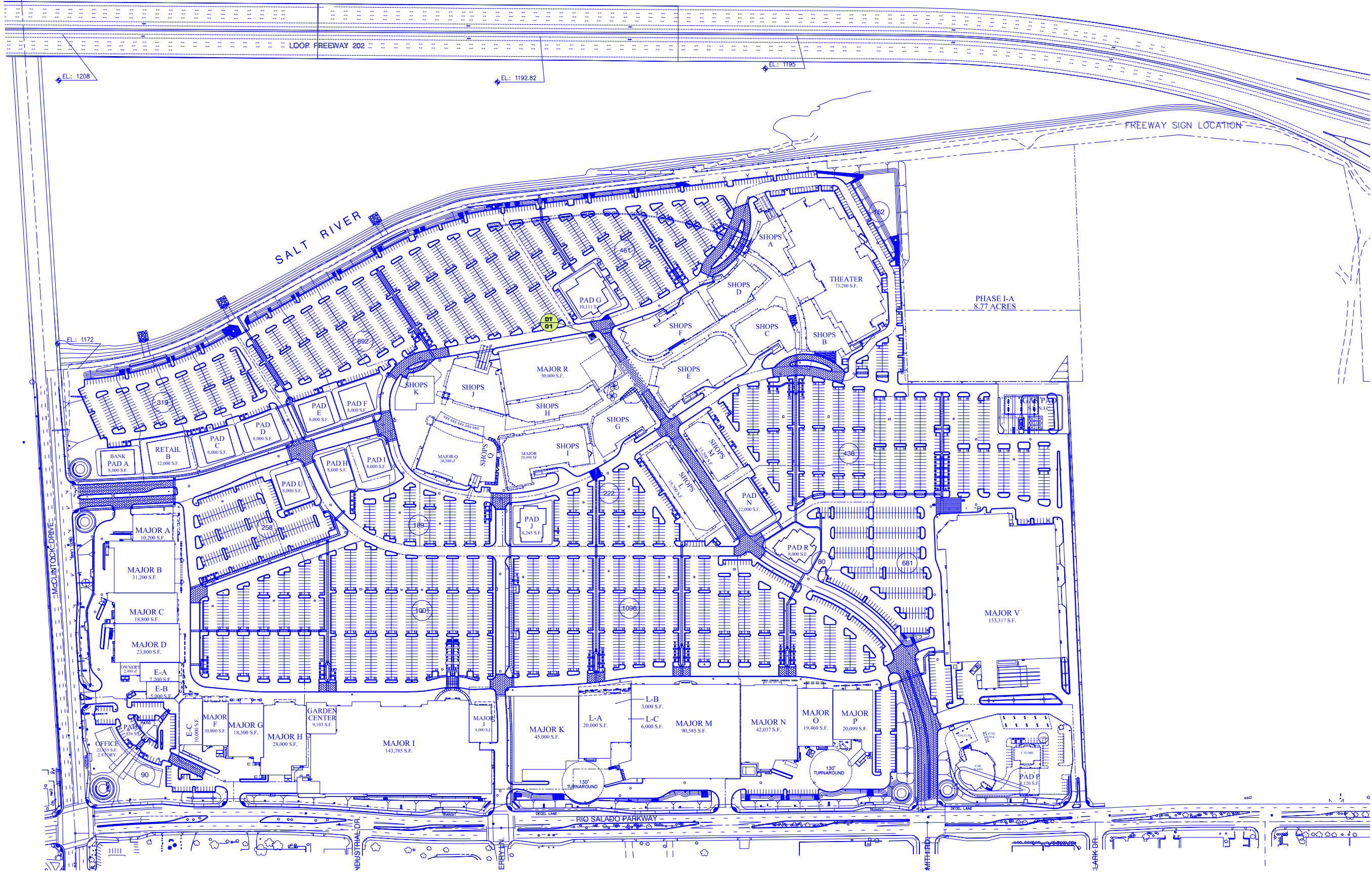


NOTE:  
SIGN TYPE L SHALL BE LIMITED TO A HEIGHT OF ONE HUNDRED (100) FEET ABOVE NATURAL GRADE AND/OR SIXTY FIVE (65) FEET ABOVE THE ADJACENT ROADWAY, WHICHEVER IS GREATER.

ALL EXTERNAL ILLUMINATION FIXTURES UTILIZED SHALL COMPLY WITH THE CITY OF TEMPE "DARK SKY" ORDINANCE.



TO  
FREWAY



**DT- District Tower**

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Design Architects:



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 90211  
 310.762.0000

Executive Architects:

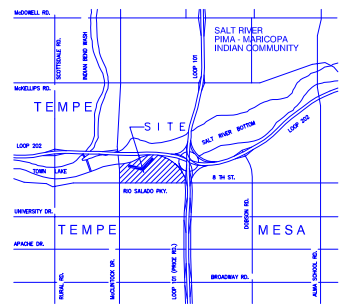
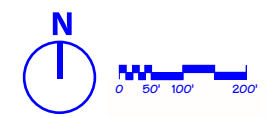


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 fax 602-957-7722

Signage Consultant:



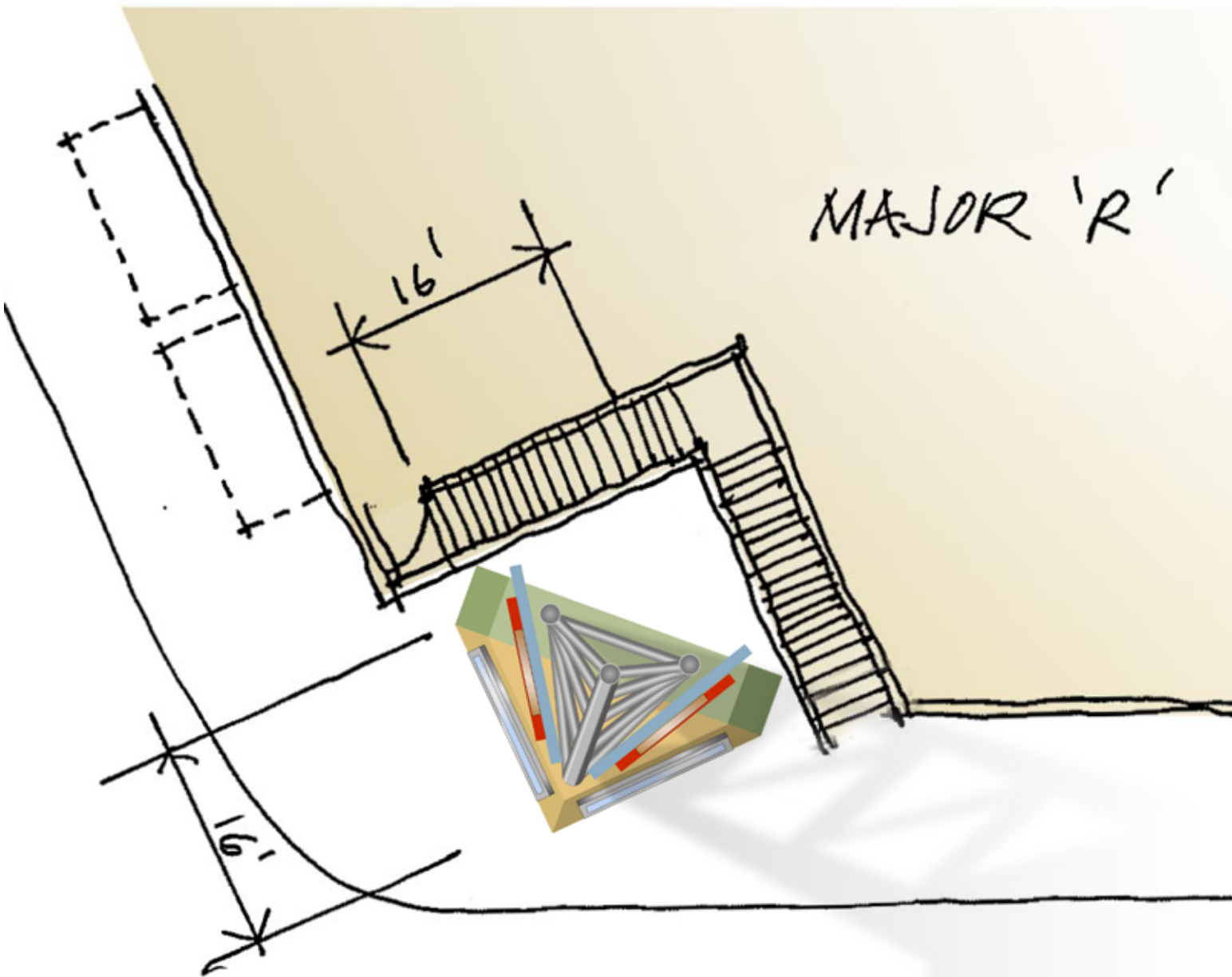
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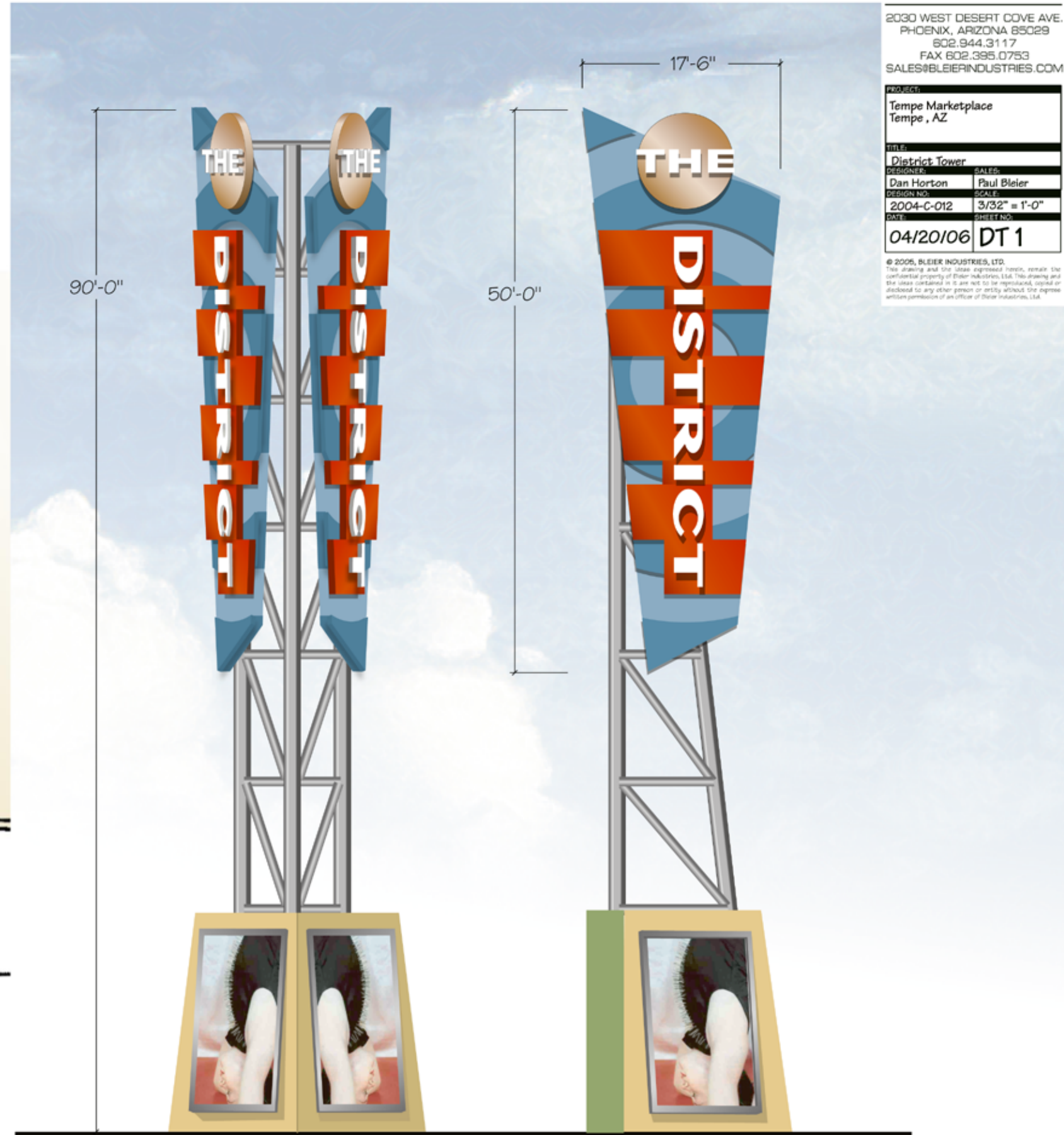
VICINITY MAP

NOTE:  
 FREESTANDING SIGNS LOCATED WITHIN THE SITE SHALL BE LOCATED IN A MANNER SO AS TO  
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 SKY" ORDINANCE.



Plan  
 Scale: 3/32"=1'0"

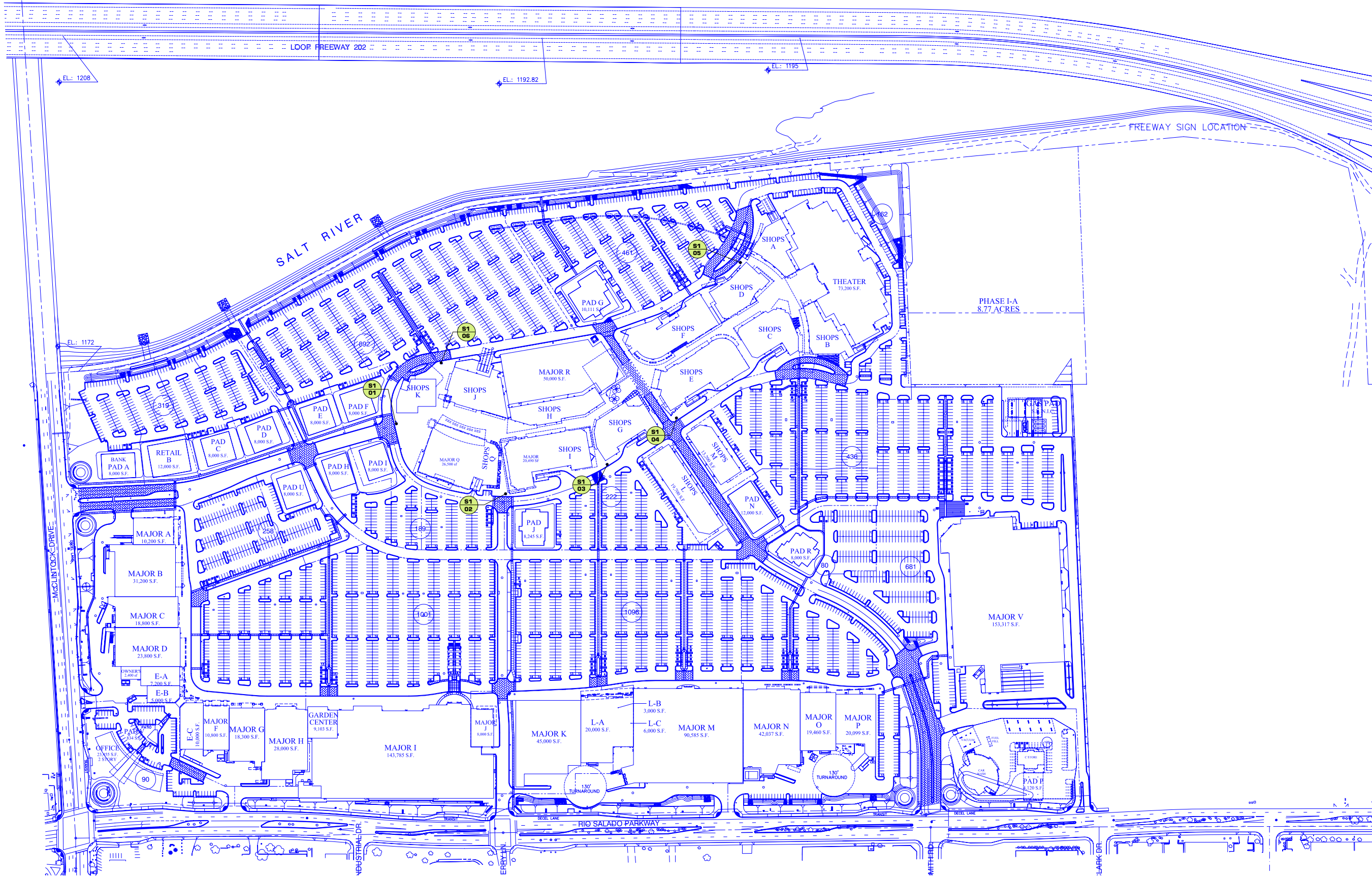


Elevation - Front View  
 Scale: 3/32"=1'0"

Elevation - Side View @ Sign Panel  
 Scale: 3/32"=1'0"

PROJECT	
Tempe Marketplace Tempe, AZ	
TITLE	
District Tower	
DESIGNER	SALES
Dan Horton	Paul Bleier
DESIGN NO.	SCALE
2004-C-012	3/32" = 1'-0"
DATE	SHEET NO.
04/20/06	DT 1

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**S1**- District Identification Stylon



A project for:

**Vestar**  
 2425 E. CAMELBACK RD.  
 SUITE 750  
 PHOENIX, AZ 85016  
 TEL: 602.866.0900  
 FAX: 602.955.2298

Architects:

Design Architects: **HTH Group**

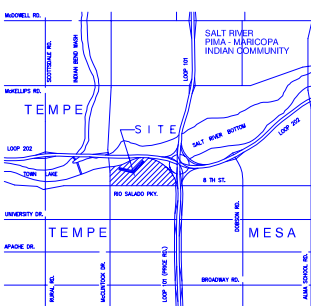
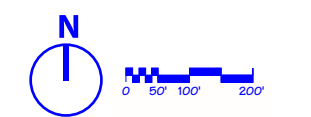
Executive Architects: **Butler Design Group Inc.**

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 2030 WEST DESERT COVE AVE.  
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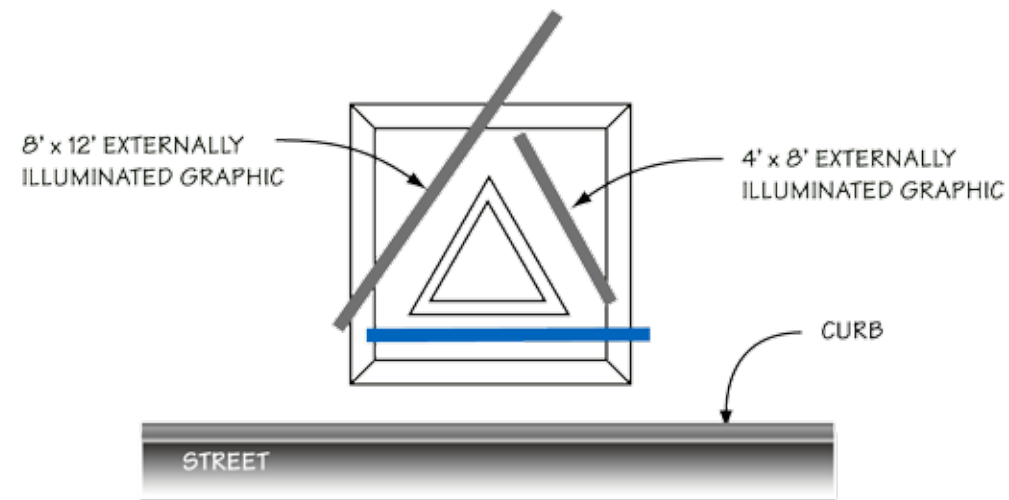


VICINITY MAP

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PROJECT	
Tempe Marketplace Tempe, AZ	
TITLE	
S1- District Stylon	
DESIGNER	SALES
Dan Horton	Paul Bleier
DESIGN NO.	SCALE
2004-C-012	1/4" = 1'-0"
DATE	SHEET NO.
04/10/06	S1

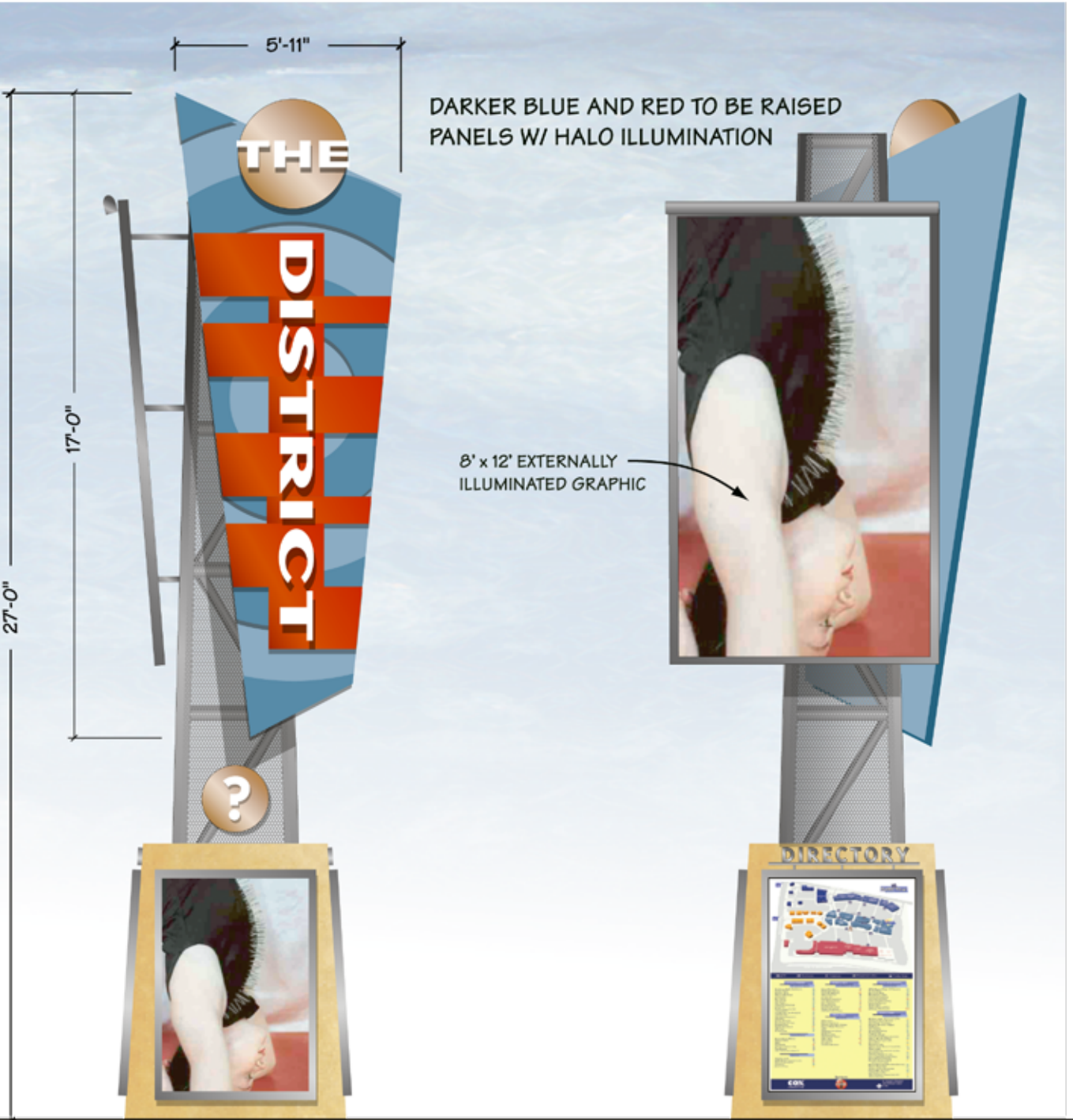
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Elevation- Night View  
 Scale: 1/4"=1'0"



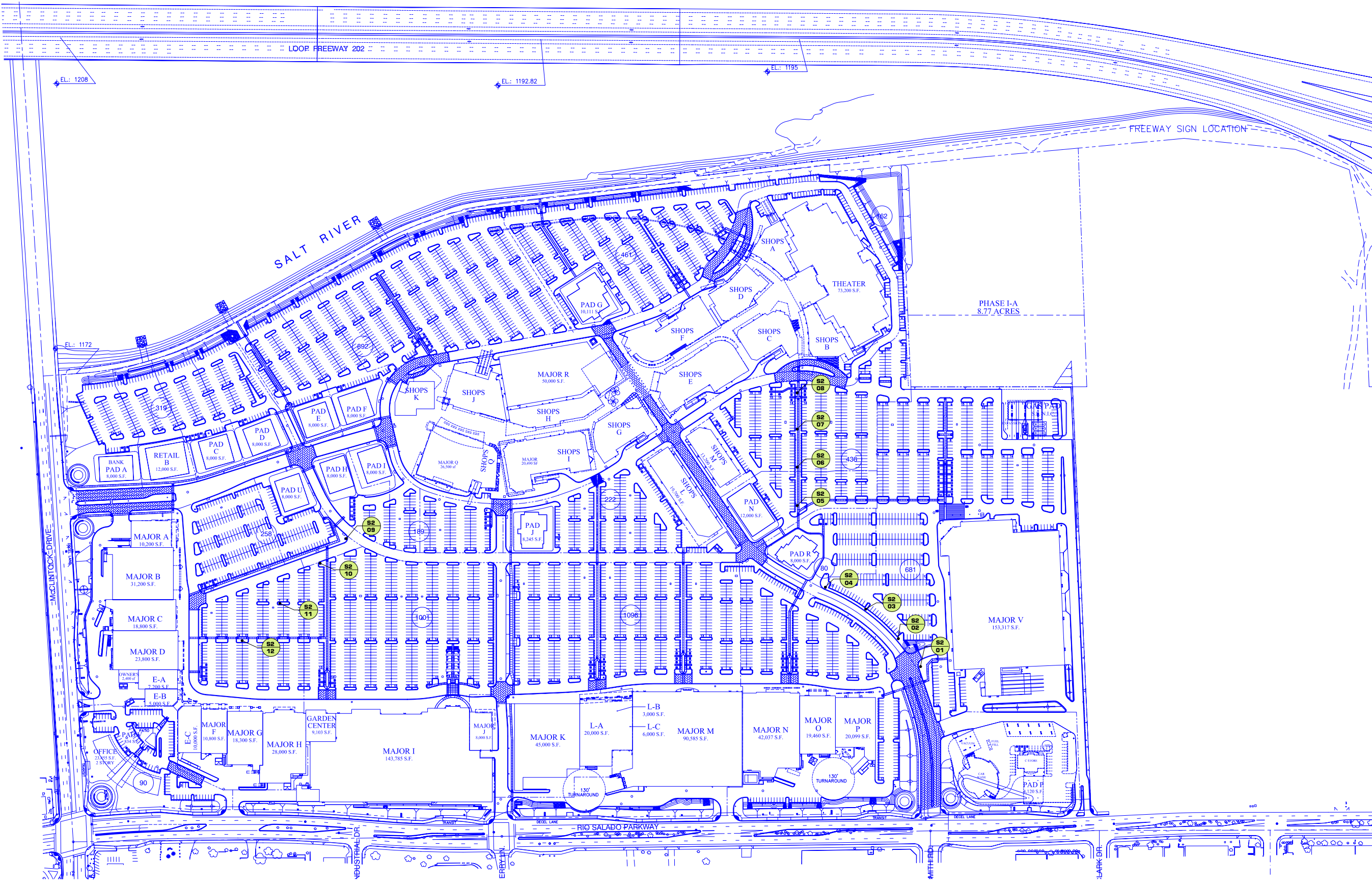
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 Scale: 1/4"=1'0"



Elevation-Front View  
 Scale: 1/4"=1'0"



Elevation-Right View  
 Scale: 1/4"=1'0"



**S2- Parking Lifestyle Stylon**



A project for:



**Vestor**

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SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Architects:

Design Architects:



Executive Architects:



**HTH Group LLP**  
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T.323.782.0000

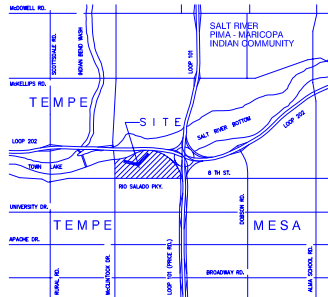
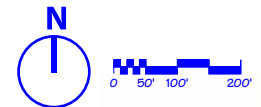
Butler Design Group Inc.  
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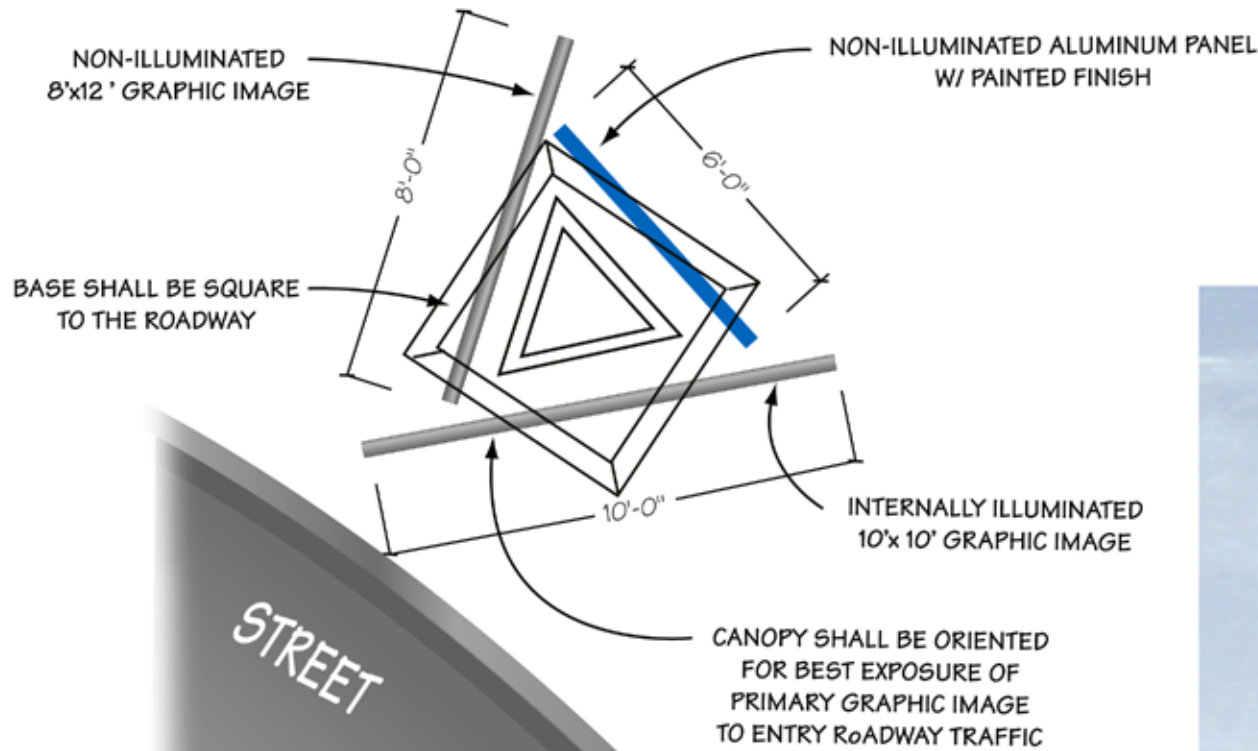


VICINITY MAP

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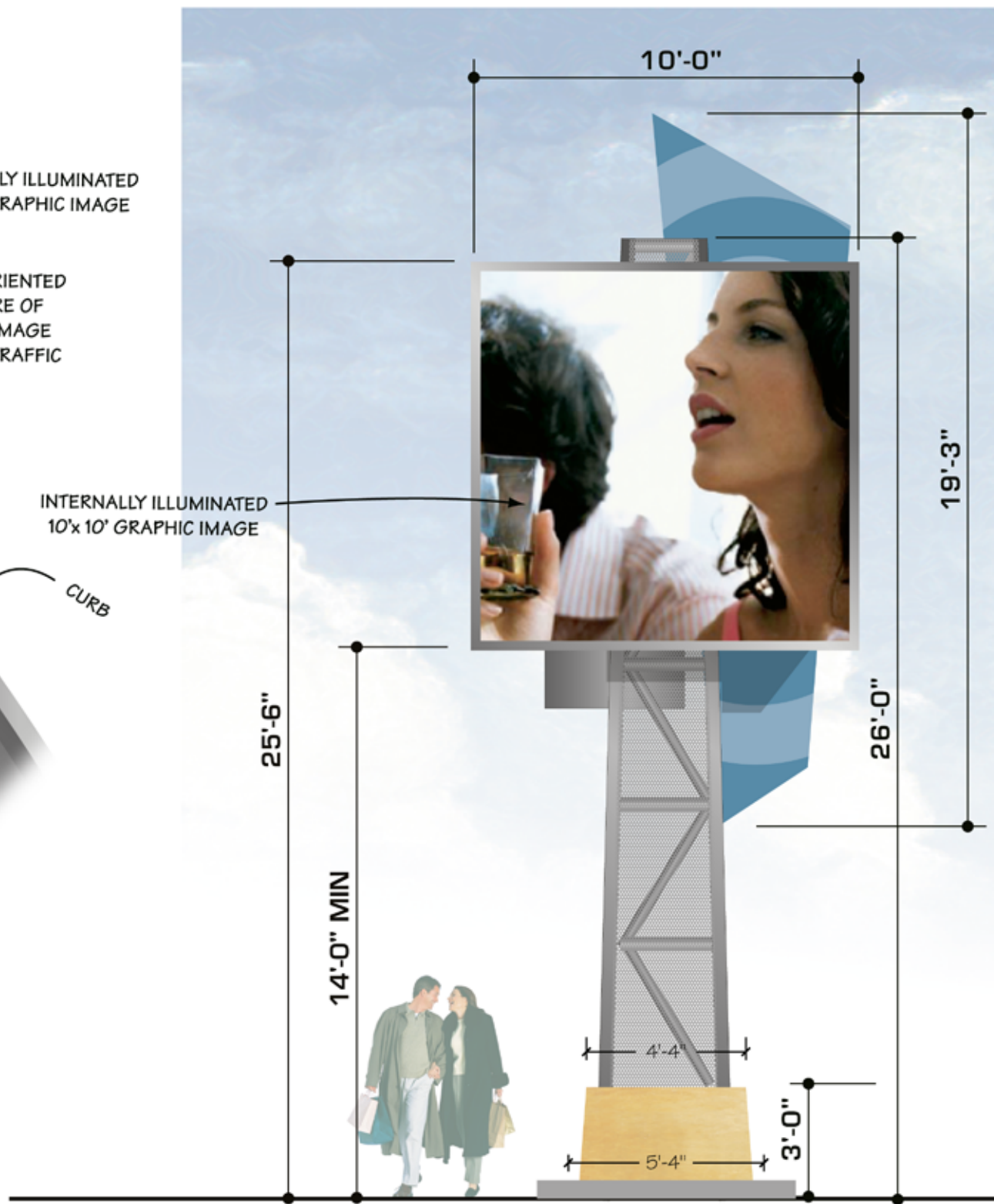
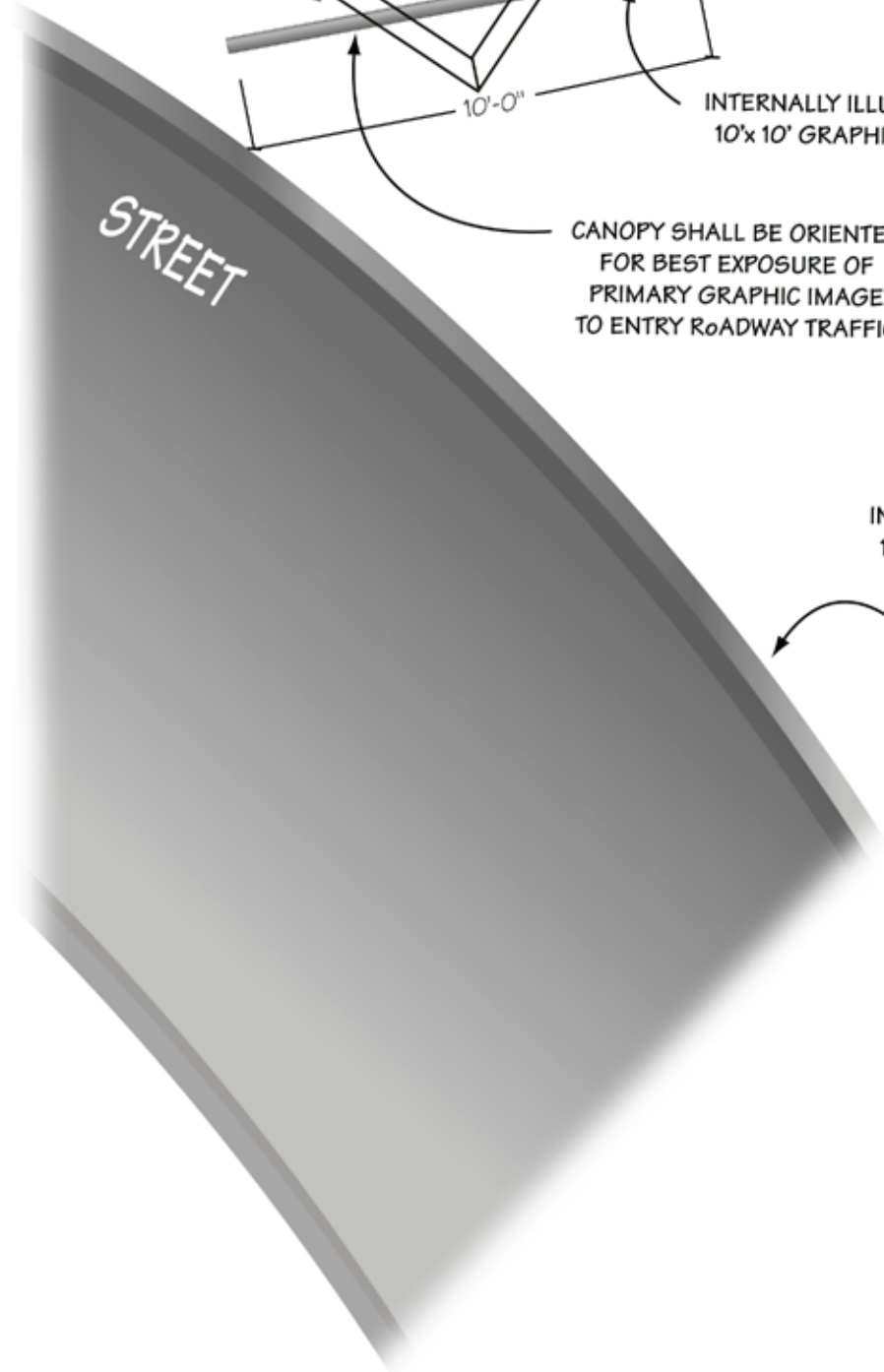
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Tempe Marketplace Tempe, AZ	
TITLE	
52- Image Styling	
DESIGNER	SALES
Dan Horton	Paul Bleier
DESIGN NO.	SCALE
2004-C-012	1/4" = 1'-0"
DATE	SHEET NO.
04/10/06	52

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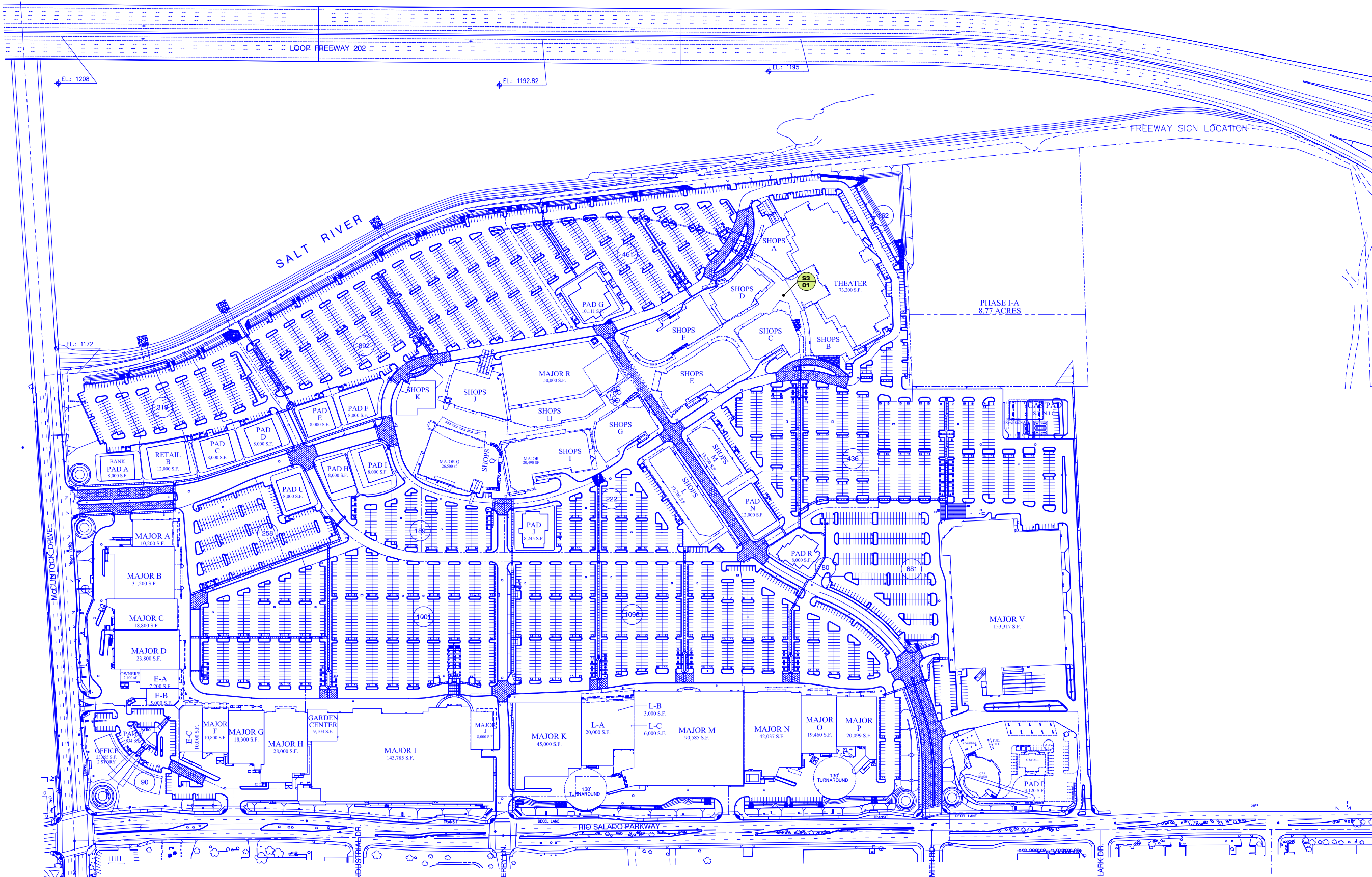
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Elevation-Front View  
Scale: 1/4"=1'0"



Elevation-Night View  
Scale: 1/4"=1'0"



**S3- District Canopy Stylon**

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Executive Architects:

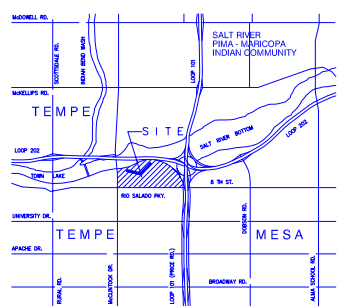
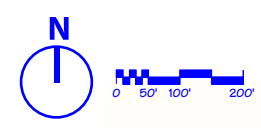


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fax 602-957-7722

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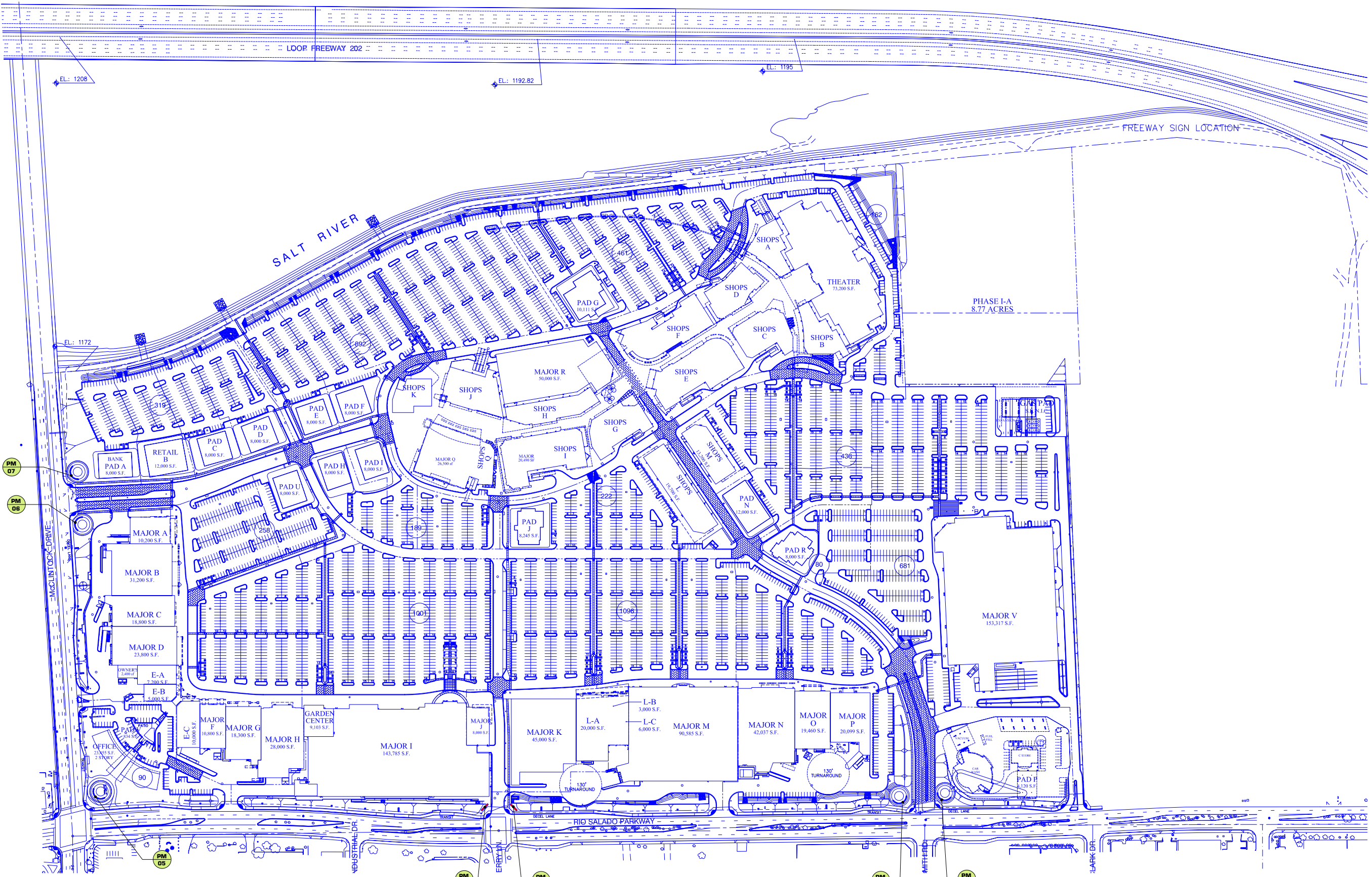
BLAIR INDUSTRIES, LTD.  
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602.944.3117  
FAX 602.395.0753  
SALES@BLAIRINDUSTRIES.COM



VICINITY MAP

VESTAR SITE 04-20-06





A project for:



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 PHOENIX, AZ 85016  
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 FAX: 602.955.2298

Architects:

Design Architects:



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 T.310.762.0800

Executive Architects:

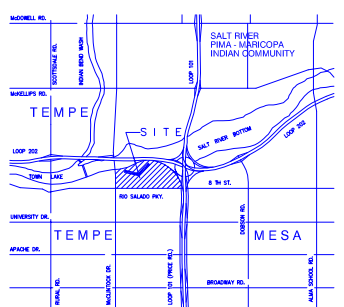
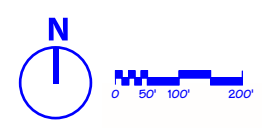


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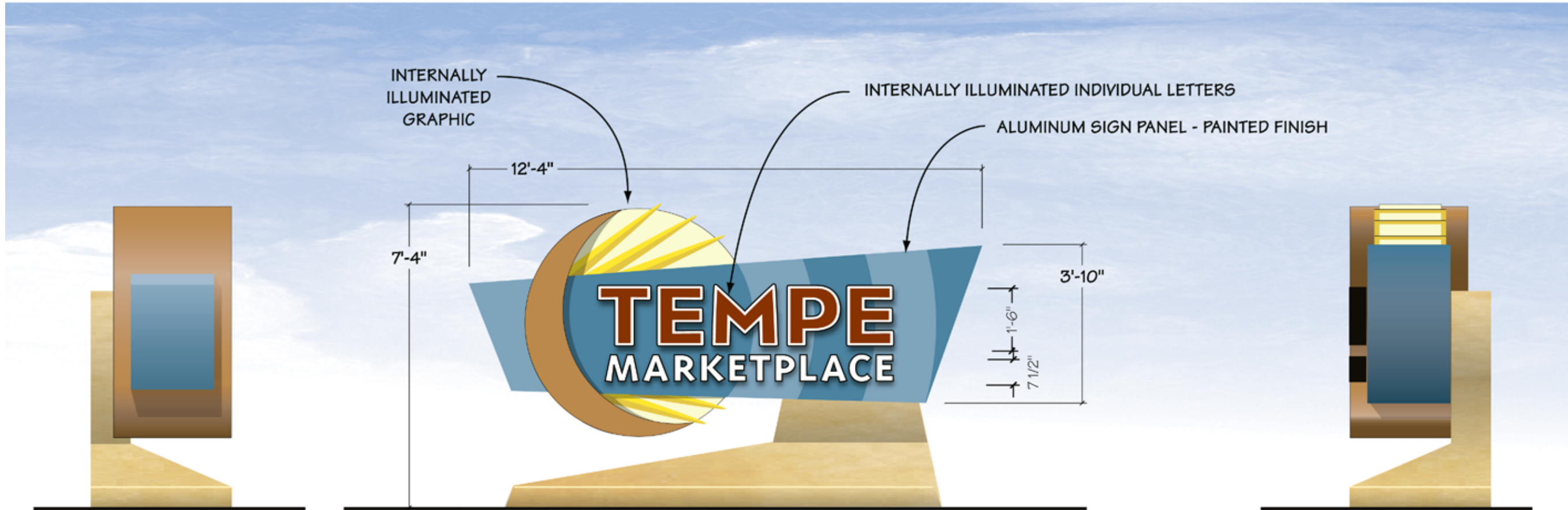
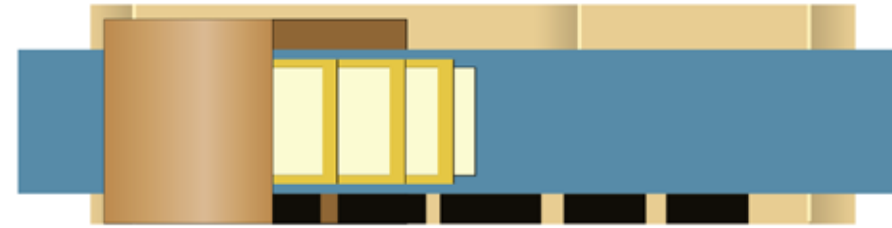
**PM- Primary Monument**

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NOTE:  
 ALL FREESTANDING SIGNS LOCATED ADJACENT TO McCLINTOCK DRIVE AND RIO SALADO PARKWAY SHALL BE  
 LOCATED OUTSIDE OF TRAFFIC VISIBILITY TRIANGLES ESTABLISHED BY THE CITY OF TEMPE.

PROJECT:	
Tempe Marketplace Tempe, AZ	
TITLE:	
PM- Primary Monument Sign	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2004-C-012	as noted
DATE:	SHEET NO.:
04/10/06	PM 1

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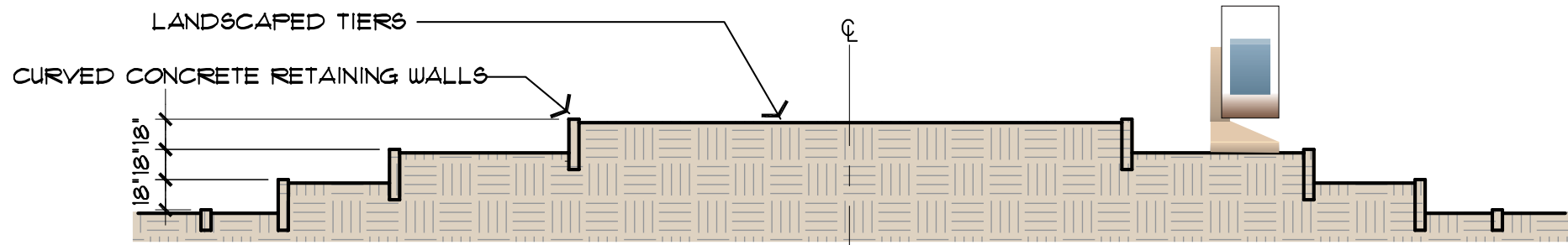
Side View  
 Scale: 3/8"=1'0"

Elevation  
 Scale: 3/8"=1'0"

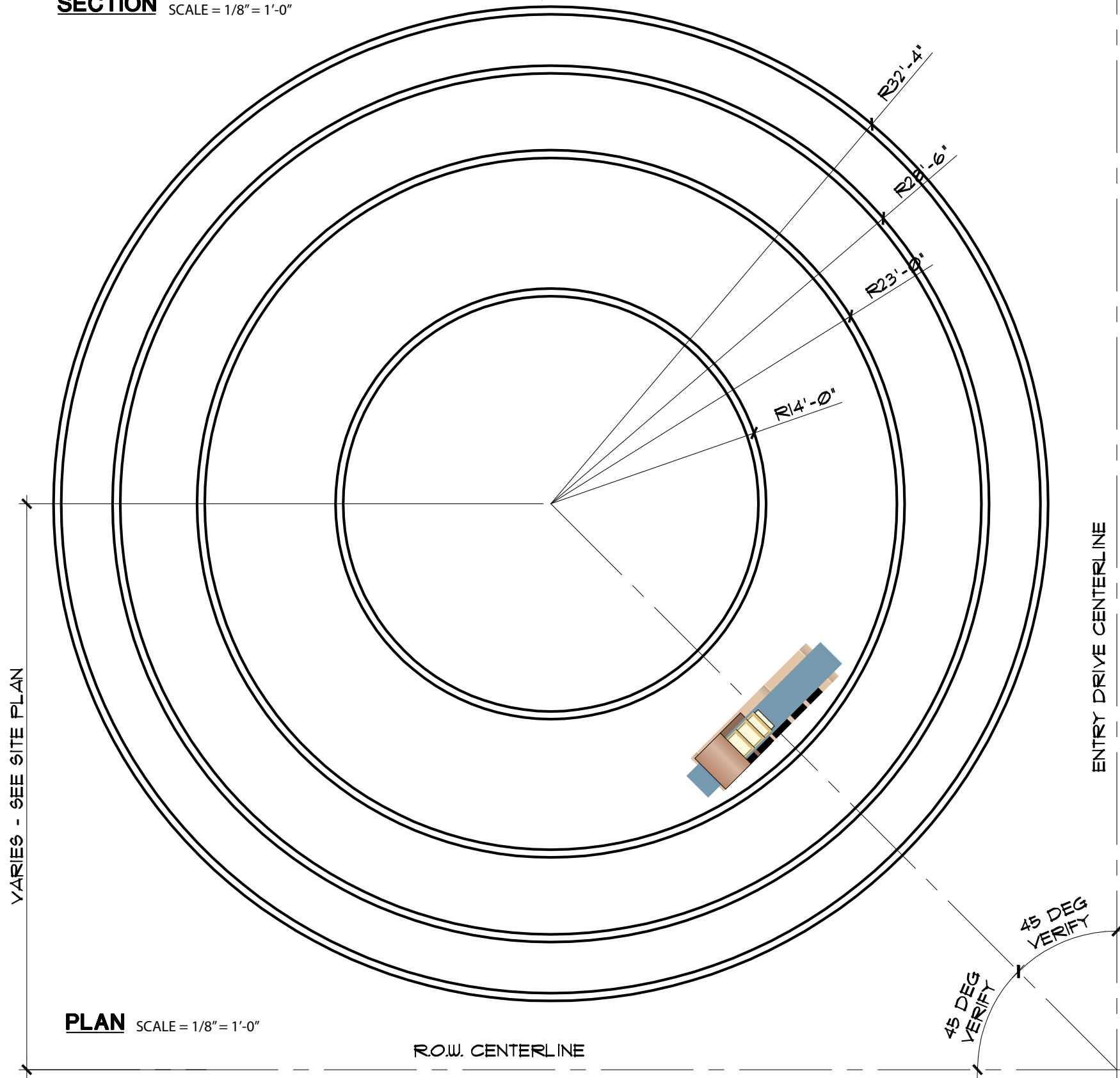
Side View  
 Scale: 3/8"=1'0"

PROJECT:	
Tempe Marketplace Tempe, AZ	
TITLE:	
PM- Primary Monument Sign	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2004-C-012	as noted
DATE:	SHEET NO.:
04/10/06	PM 2

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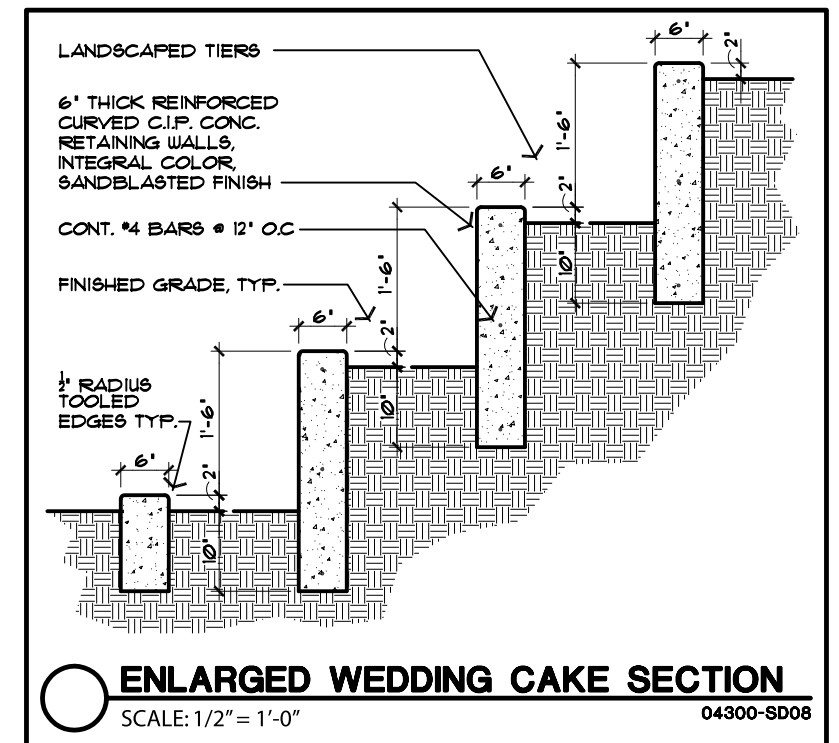


**SECTION** SCALE = 1/8" = 1'-0"



**PLAN** SCALE = 1/8" = 1'-0"

**WEDDING CAKE PLAN AND SECTION**  
SCALE: 1/8" = 1'-0"



**ENLARGED WEDDING CAKE SECTION**  
SCALE: 1/2" = 1'-0" 04300-SD08



A project for:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Architects:

Design Architects:



**HTH Group LLP**  
8383 Wilshire Boulevard  
Beverly Hills, California  
1.323.782.1888

Executive Architects:

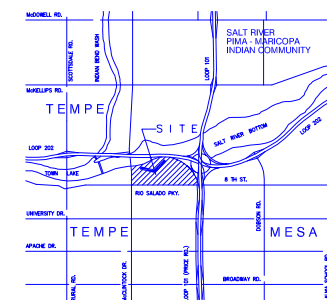
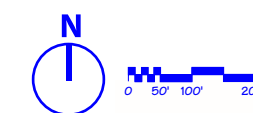


Butler Design Group Inc.  
Architects & Planners  
5555 East Van Buren St.  
Suite 215  
Phoenix, Arizona 85008  
phone 602-957-1800  
fax 602-957-7722

Signage Consultant:

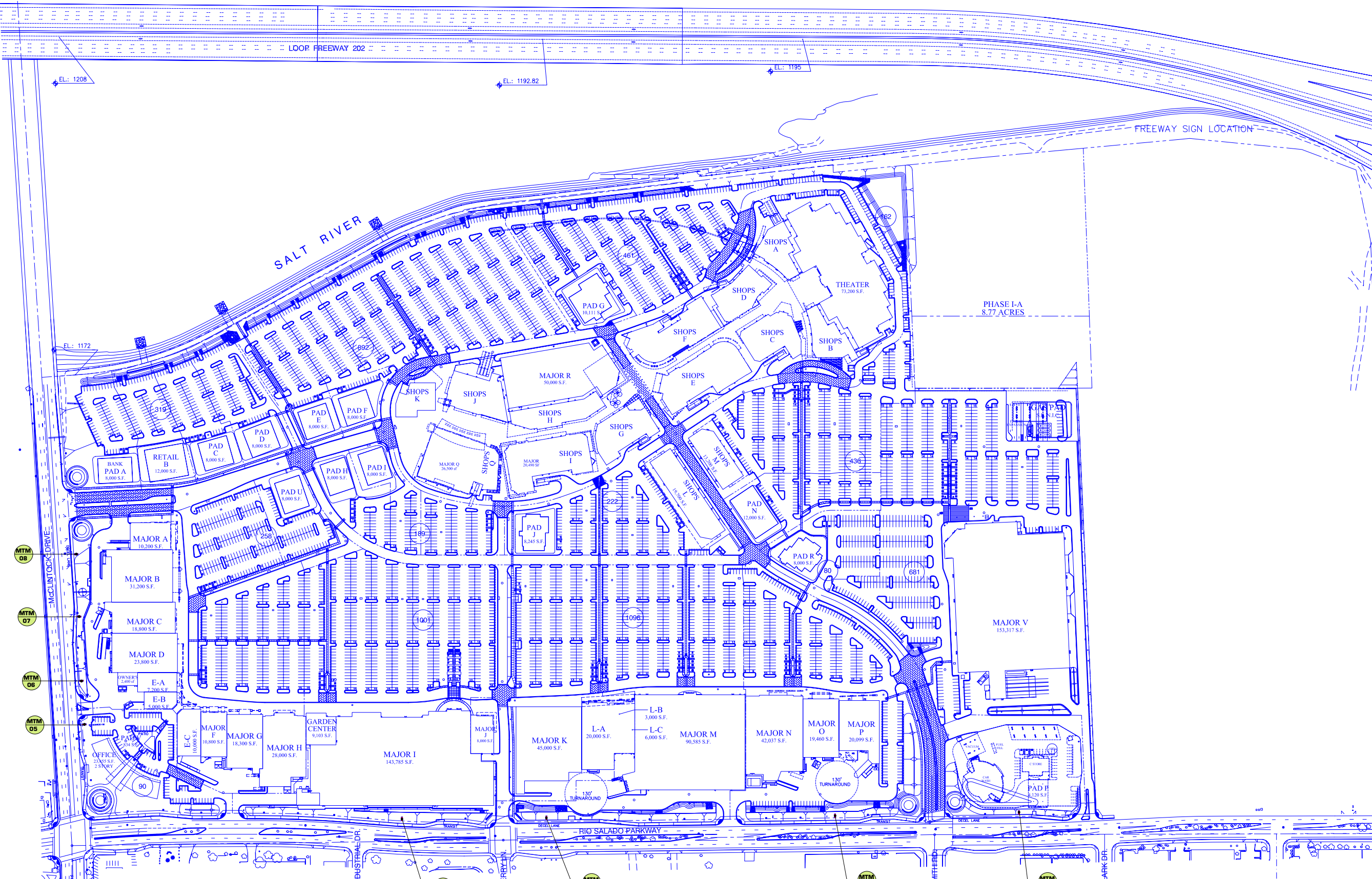


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602-944-3117  
FAX 602-365-0763  
SALES@BLEIERINDUSTRIES.COM



VICINITY MAP

VESTAR SITE 04-20-06



- MTM 08
- MTM 07
- MTM 06
- MTM 05
- MTM 04
- MTM 03
- MTM 02
- MTM 01

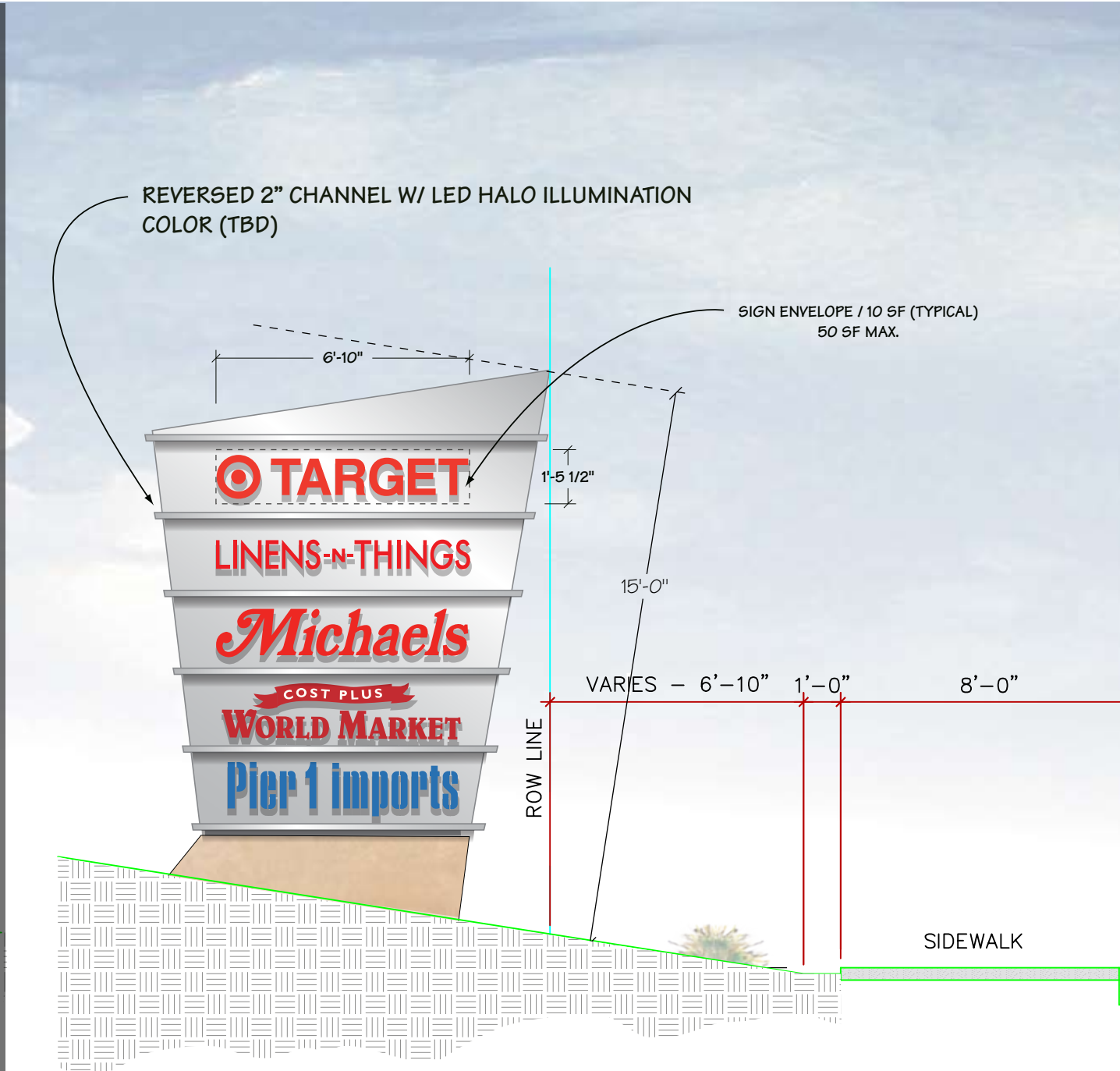
MTM- Multi-Tenant Monument

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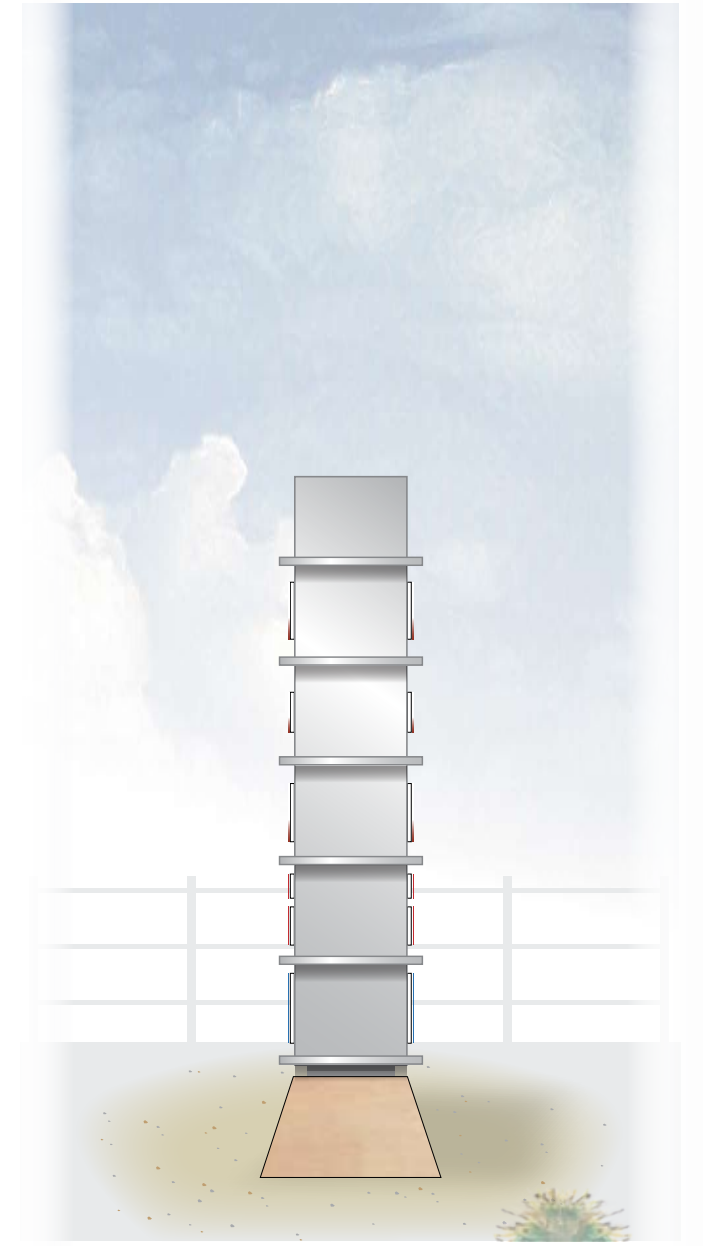
**MTM ELEVATION - NIGHT ILLUMINATION**

Scale: 1/4"=1'0"



**MTM ELEVATION - DAYTIME**

Scale: 1/4"=1'0"



**SIDE VIEW**

Scale: 1/4"=1'0"

TENANT SIGNAGE WILL BE ROUTED WITH WHITE ACRYLIC BACK-UP, 1" FCO CLEAR PUSH-THRU WITH FIRST SURFACE APPLIED COLORED VINYL UTILIZING TENANT'S CORPORATE COLORS. DEVELOPER APPROVAL REQUIRED.

**NOTE:**

ALL FREESTANDING SIGNS LOCATED ADJACENT TO McCLINTOCK DRIVE AND RIO SALADO PARKWAY SHALL BE LOCATED OUTSIDE OF TRAFFIC VISIBILITY TRIANGLES ESTABLISHED BY THE CITY OF TEMPE.

SIGN TYPE MTM SHALL BE LIMITED TO DISPLAYING A MAXIMUM OF FIVE (5) TENANTS PER SIGN AT TEN (10) SQUARE FEET EACH. NO TENANT SHALL BE DISPLAYED MORE THAN ONCE ALONG McCLINTOCK DRIVE OR RIO SALADO PARKWAY.

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<b>Tempe Marketplace</b> Tempe, AZ	
TITLE: <b>Monument Sign Panel Specifications</b>	
DESIGNER: Dan Horton	SALES: Paul Bleier

2004-C-012 SCALE: <b>3/8" = 1'-0"</b>	04/20/06 REVISIONS: MTM 1
---	---------------------------------

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APPROVED BY: <input checked="" type="checkbox"/>



A project for:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Architects:

Design Architects:



**HTH Group**  
8383 Wilshire Boulevard  
Beverly Hills, California  
90211  
310.762.0900

Executive Architects:

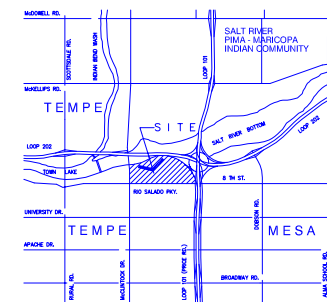
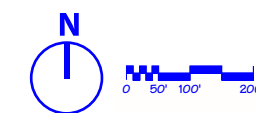


Butler Design Group Inc.  
Architects & Planners  
5555 East Van Buren St.  
Suite 215  
Phoenix, Arizona 85008  
phone 602-957-1800  
fax 602-957-7722

Signage Consultant:

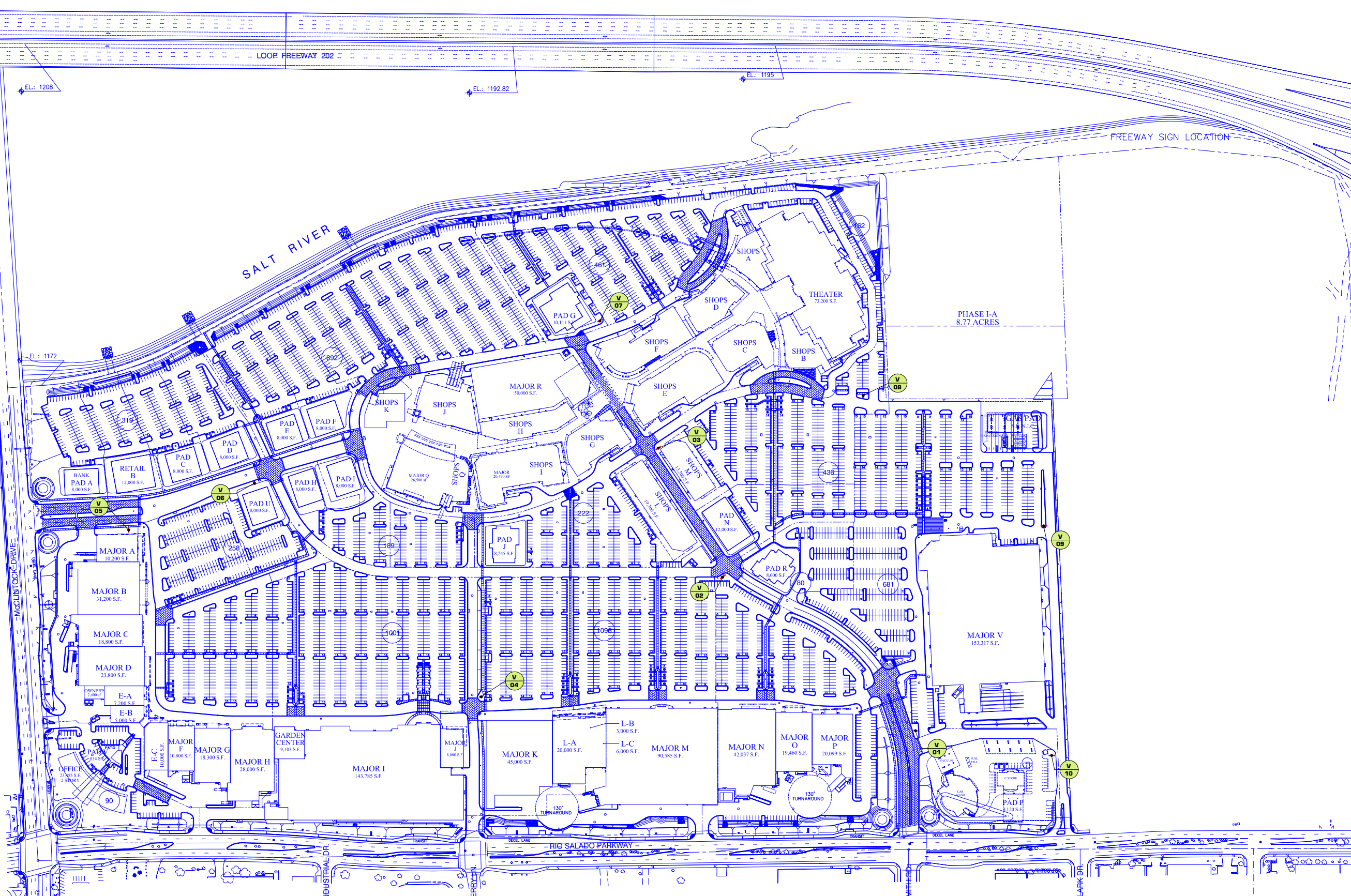


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VICINITY MAP

VESTAR SITE 04-20-06



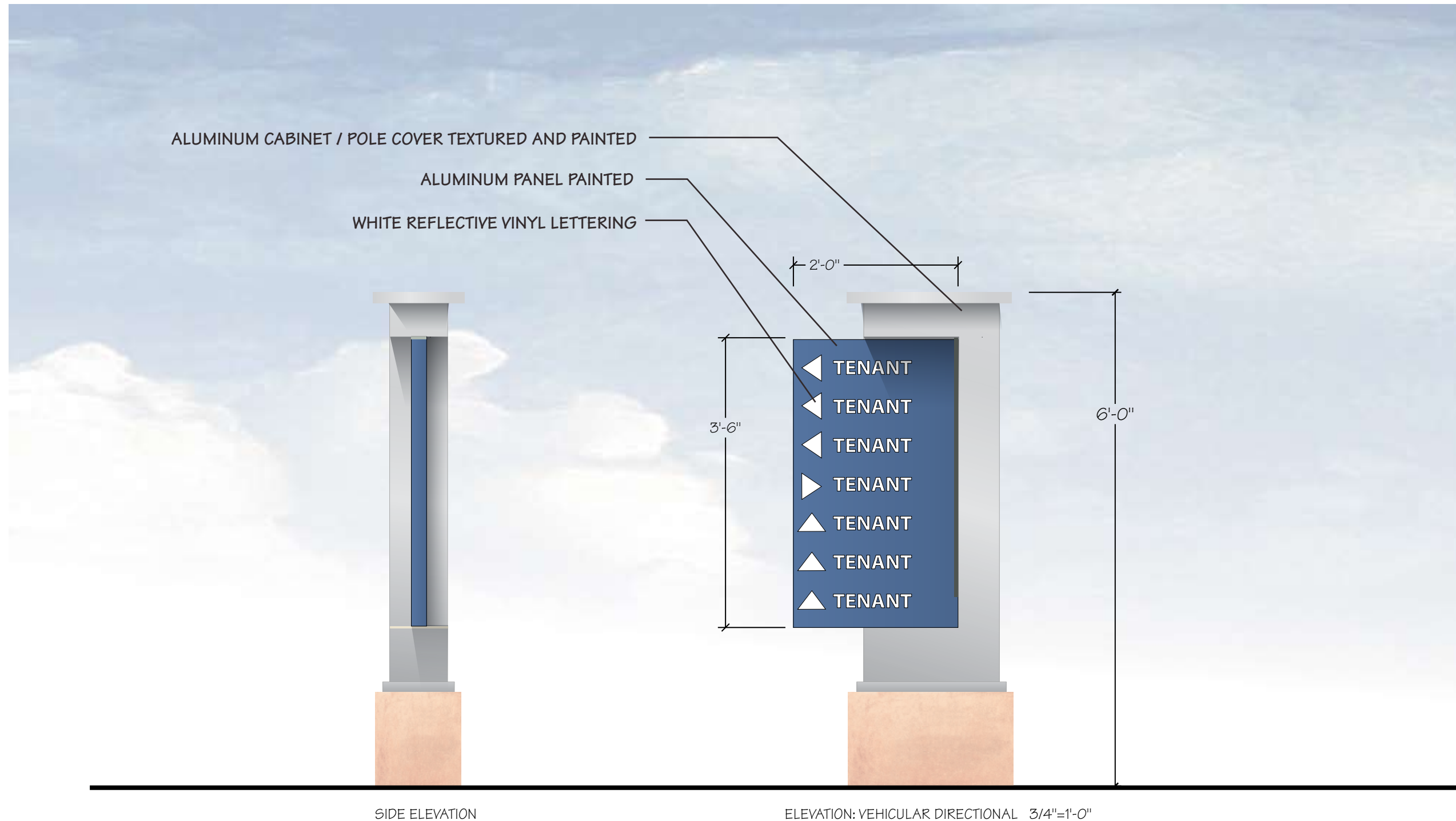
V- Primary Vehicular Directional

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**NOTE:**  
FREESTANDING SIGNS LOCATED WITHIN THE SITE SHALL BE LOCATED IN A MANNER SO AS TO INSURE THAT PEDESTRIAN AND/OR VEHICULAR TRAFFIC VISIBILITY IS NOT IMPEDED.

<b>PROJECT:</b>	
Tempe Marketplace Tempe, AZ	
<b>TITLE:</b>	
V- Primary Vehicular Directional	
<b>DESIGNER:</b>	<b>SALES:</b>
Dan Horton	Paul Bleier
<b>DESIGN NO.:</b>	<b>SCALE:</b>
2004-C-012	1/4" = 1'-0"
<b>DATE:</b>	<b>SHEET NO.:</b>
04/10/06	V1

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A project for:



**Vestar**

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SUITE 750  
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TEL: 602.866.0900  
FAX: 602.955.2298

Architects:

Design Architects:



**HTH Group LLP**  
8383 Wilshire Boulevard  
Beverly Hills, California  
90211  
1.323.762.0800

Executive Architects:

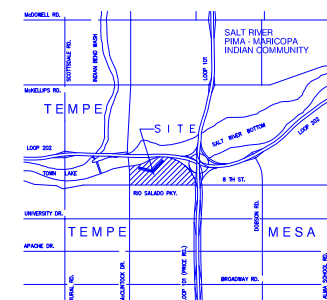
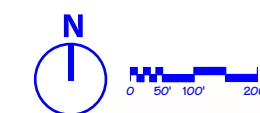


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Architects & Planners  
5555 East Van Buren St.  
Suite 215  
Phoenix, Arizona 85008  
phone 602-957-1800  
fax 602-957-7722

Signage Consultant:



**BLEIER INDUSTRIES, LTD.**  
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PHOENIX, ARIZONA 85029  
602.544.3117  
FAX 602.395.0753  
SALES@BLEIERINDUSTRIES.COM



VICINITY MAP

**D- Directory Kiosk**

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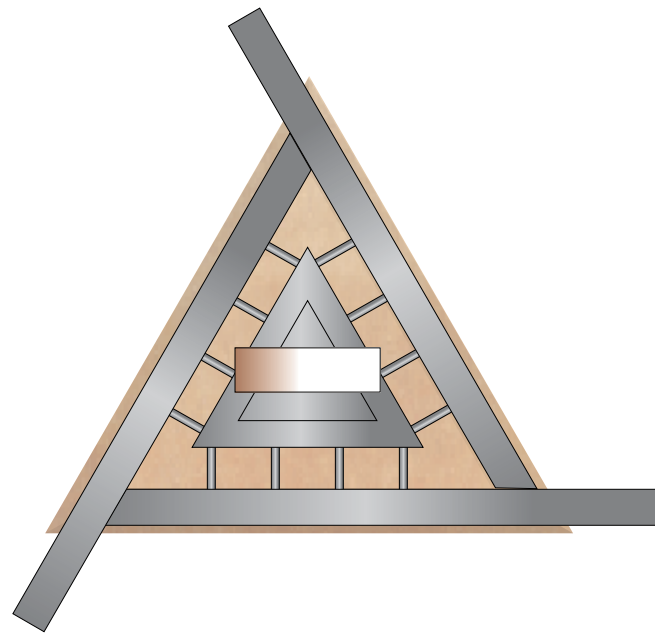
VESTAR SITE 04-20-06

PROJECT:	
Tempe Marketplace Tempe, AZ	
TITLE:	
D- Directory Kiosk	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2004-C-012	A5 NOTED
DATE:	SHEET NO.:
04/10/06	D 1

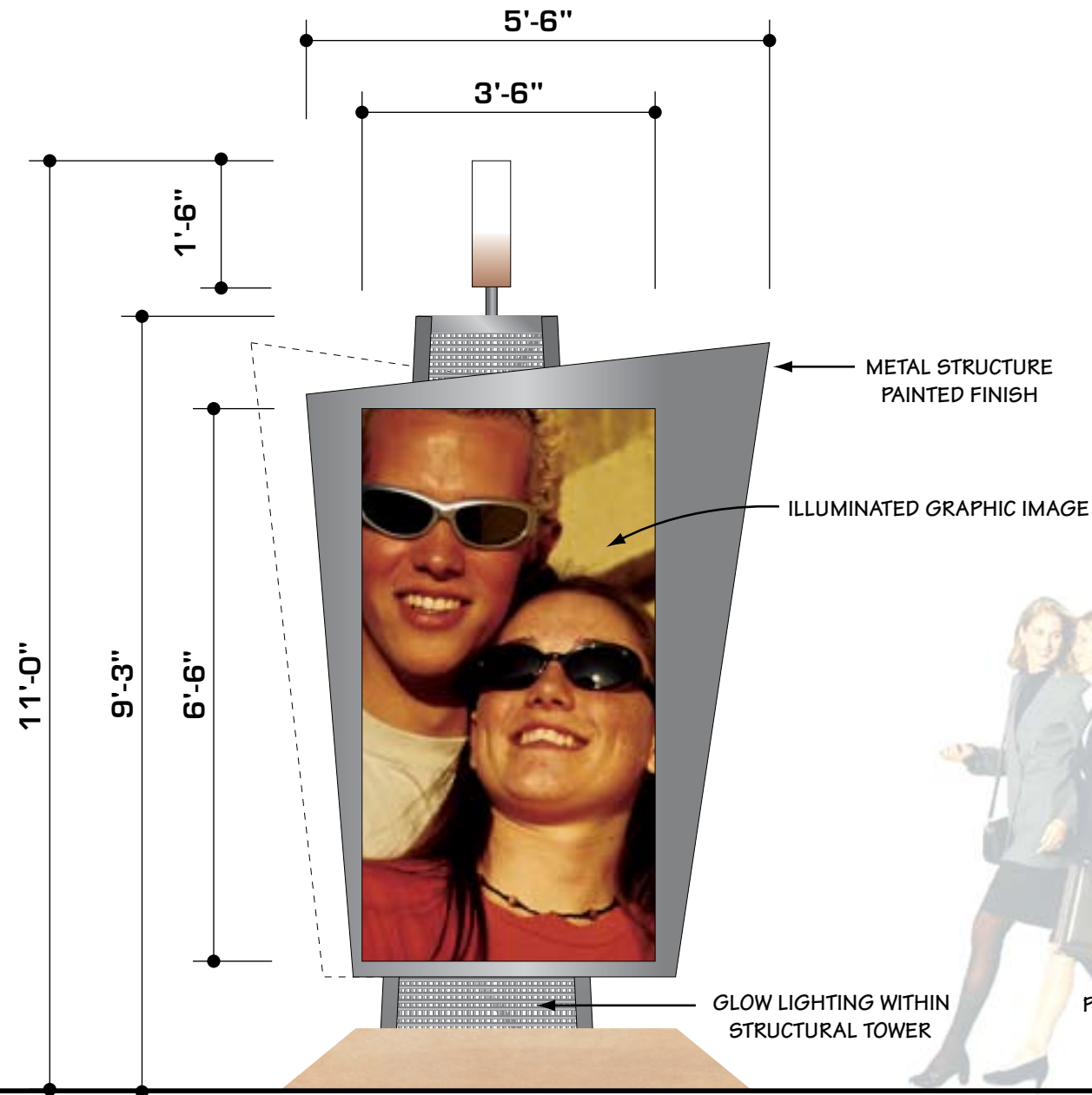
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NOTE:  
FREESTANDING SIGNS LOCATED WITHIN THE SITE SHALL BE LOCATED IN A MANNER SO AS TO INSURE THAT PEDESTRIAN AND/OR VEHICULAR TRAFFIC VISIBILITY IS NOT IMPEDED.

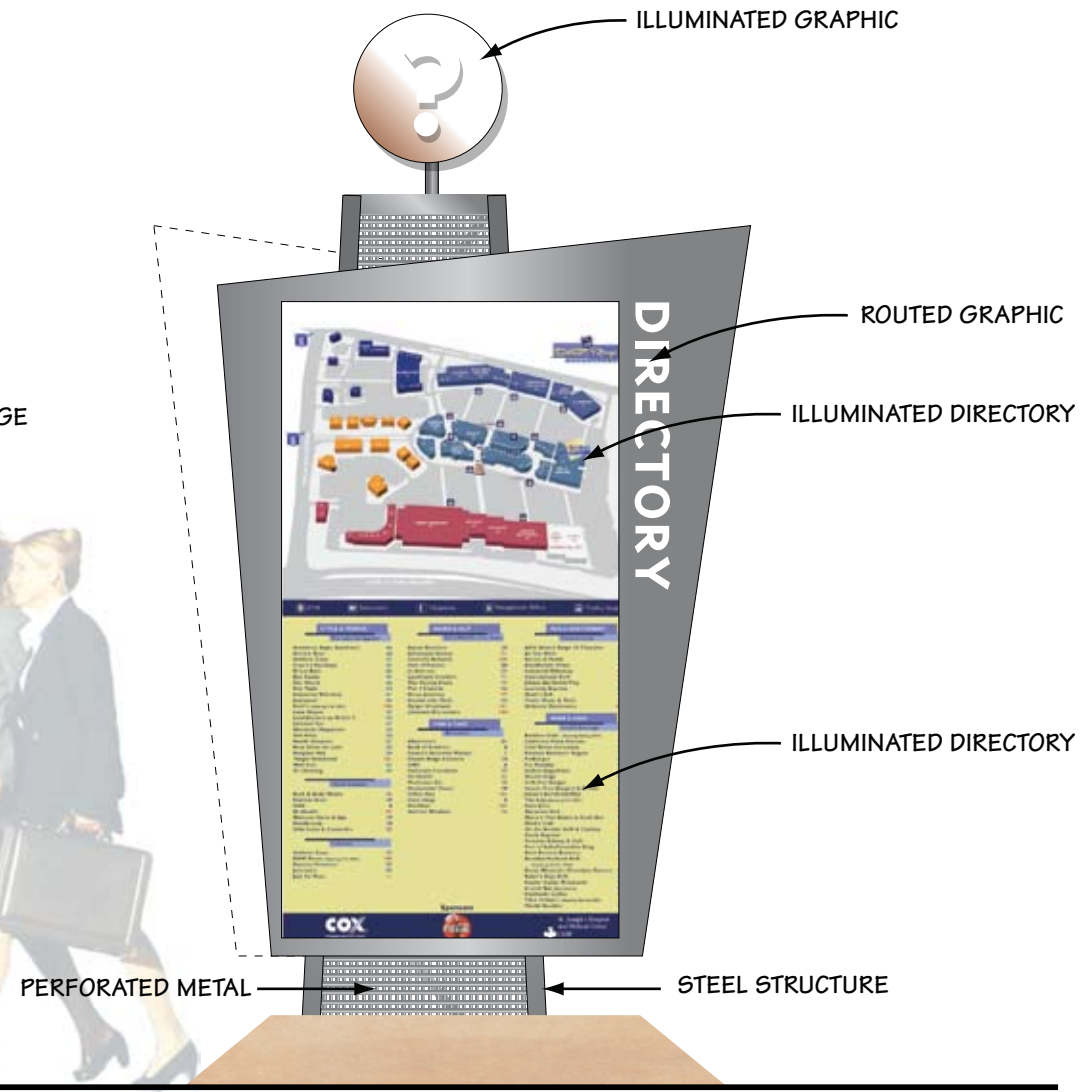
ALL EXTERNAL ILLUMINATION FIXTURES UTILIZED SHALL COMPLY WITH THE CITY OF TEMPE "DARK SKY" ORDINANCE.



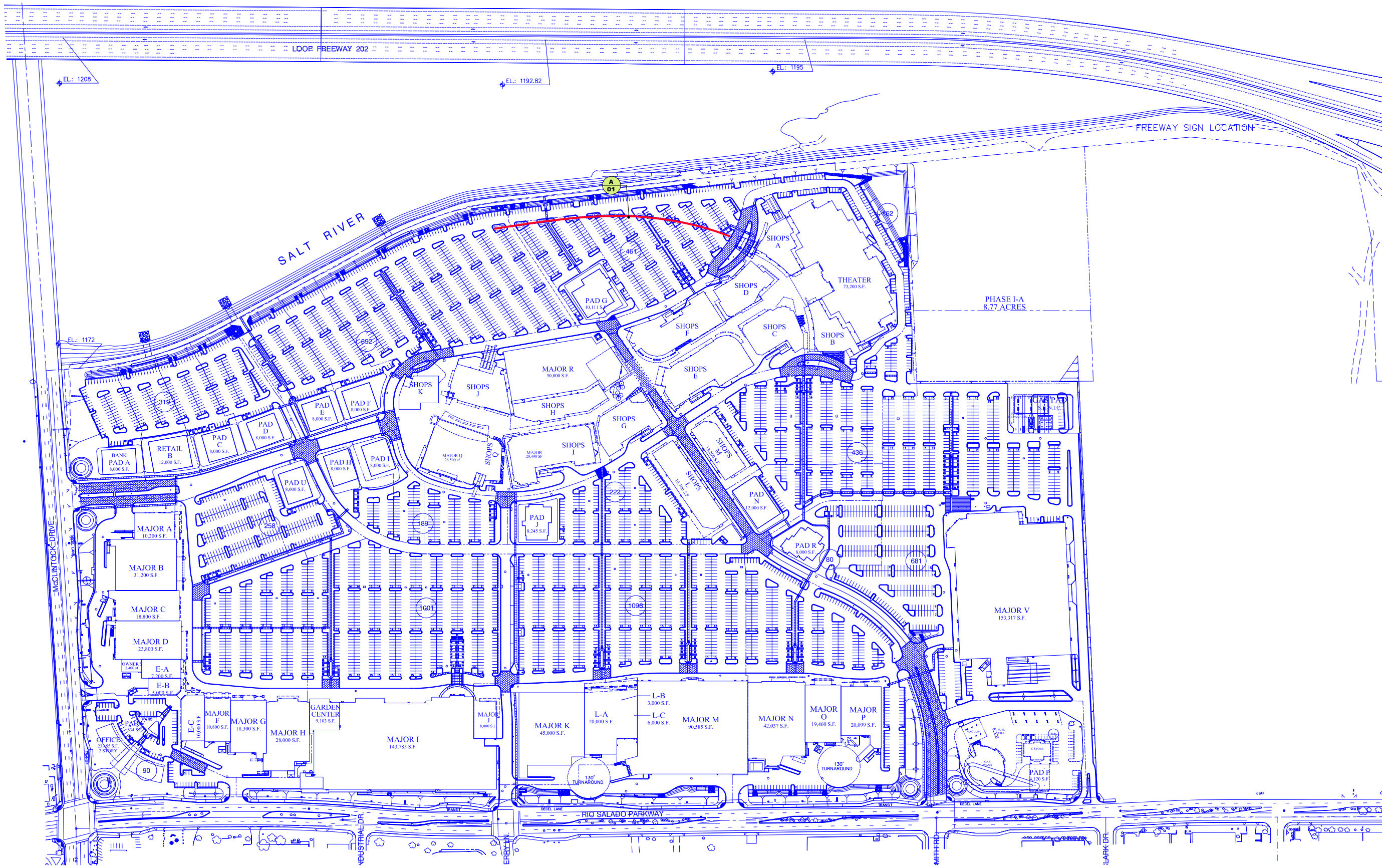
Plan View  
Scale: 1/2"=1'0"



Elevation- Side View  
Scale: 1/2"=1'0"



Elevation- Front View  
Scale: 1/2"=1'0"



**A- Graphic Arc**



A project for:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Architects:

Design Architects:



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310.782.0999

Executive Architects:

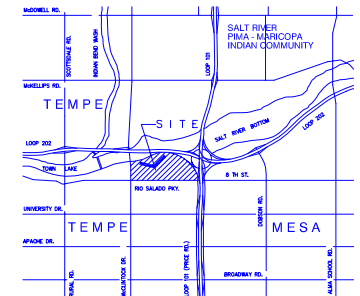
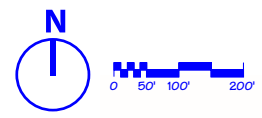


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Suite 215  
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phone 602-957-1800  
fax 602-957-7722

Signage Consultant:

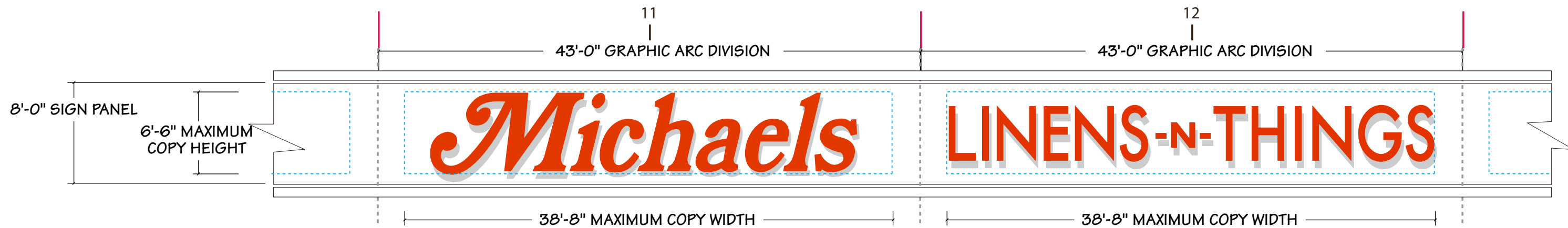


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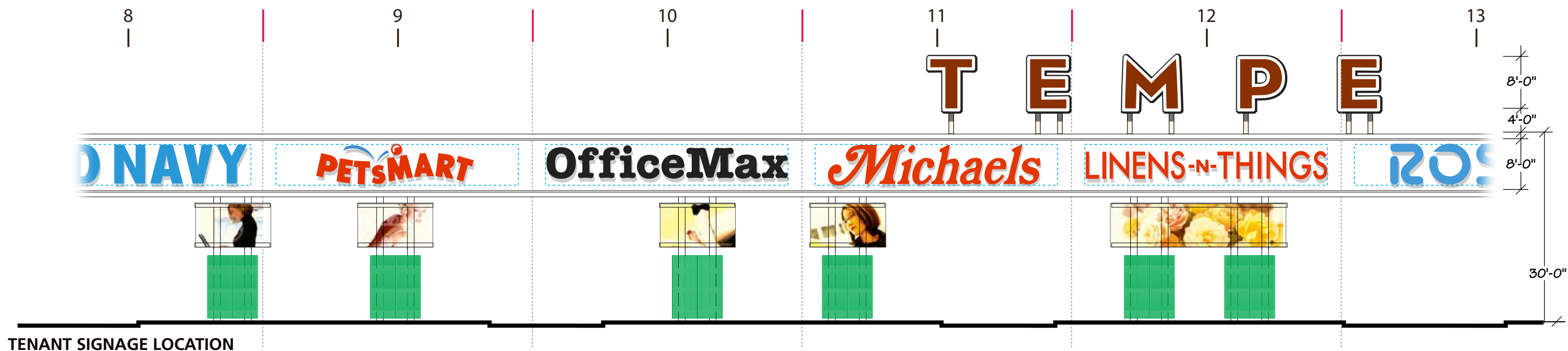


VICINITY MAP

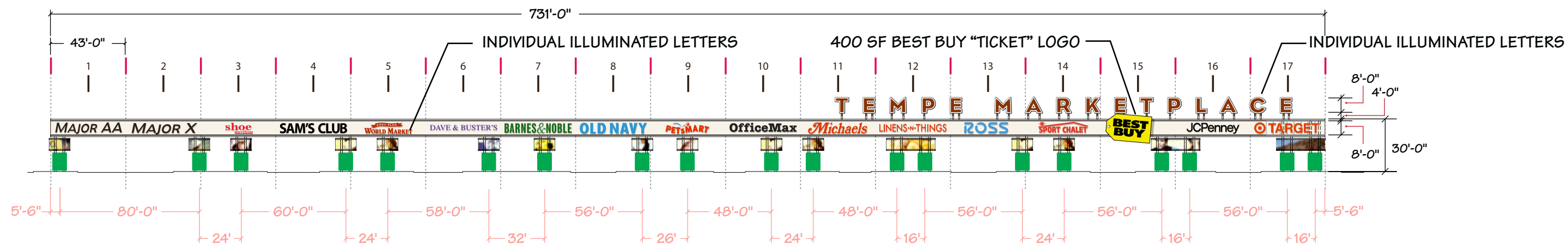
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TENANT SIGNAGE AREA DEFINITION SCALE: 1/8" = 1'-0"



TENANT SIGNAGE LOCATION



A-GRAPHIC ARC - ELEVATION SCALE: 1"=60'-0"

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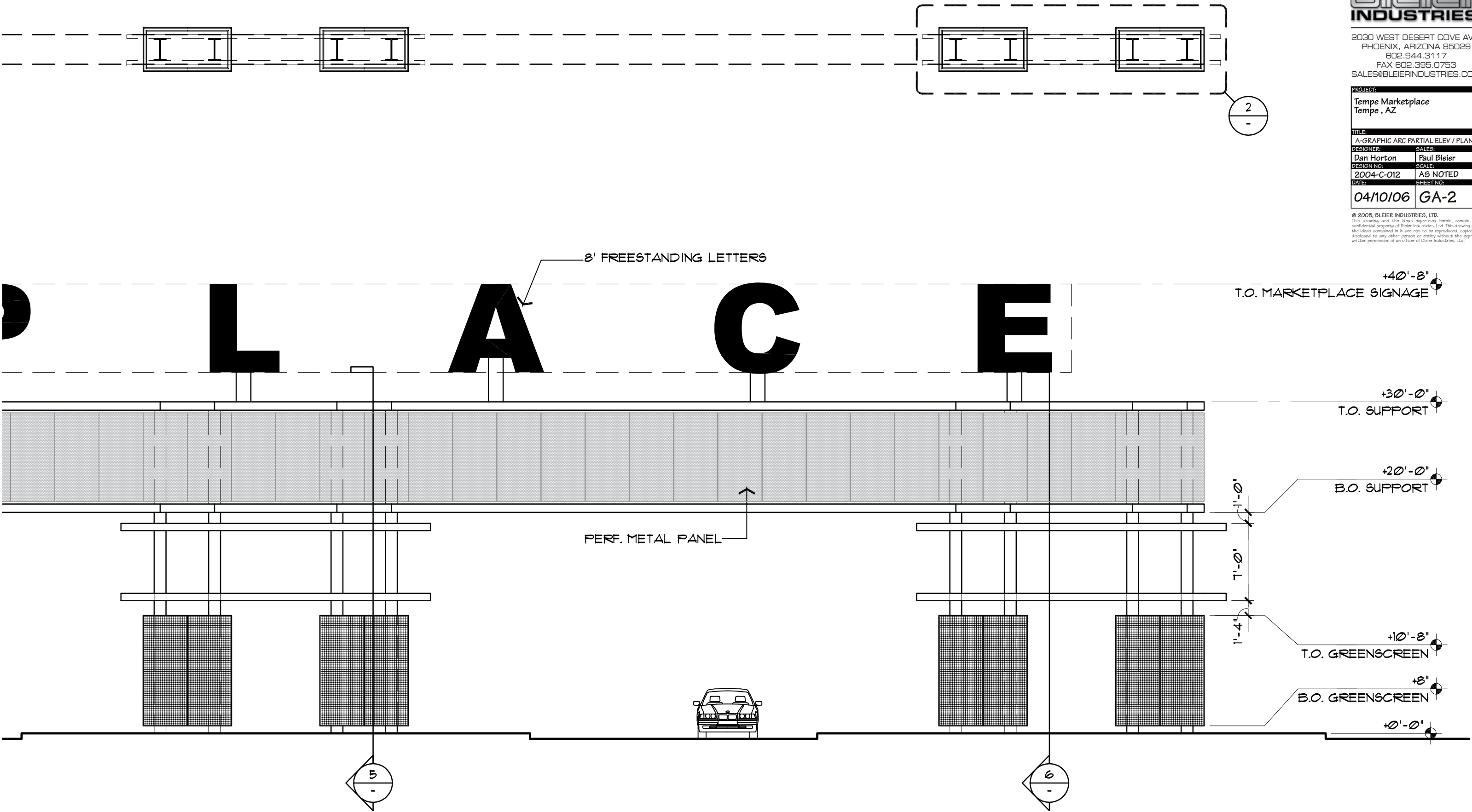
PROJECT:	Tempe Marketplace Tempe, AZ
TITLE:	A-GRAPHIC ARC
DESIGNER:	Dan Horton
SALES:	Paul Bleier

DESIGN NO:	2004-C-012	DATE:	04/10/06
SCALE:	AS NOTED	REVISIONS:	
SHEET NO:	GA-L1		

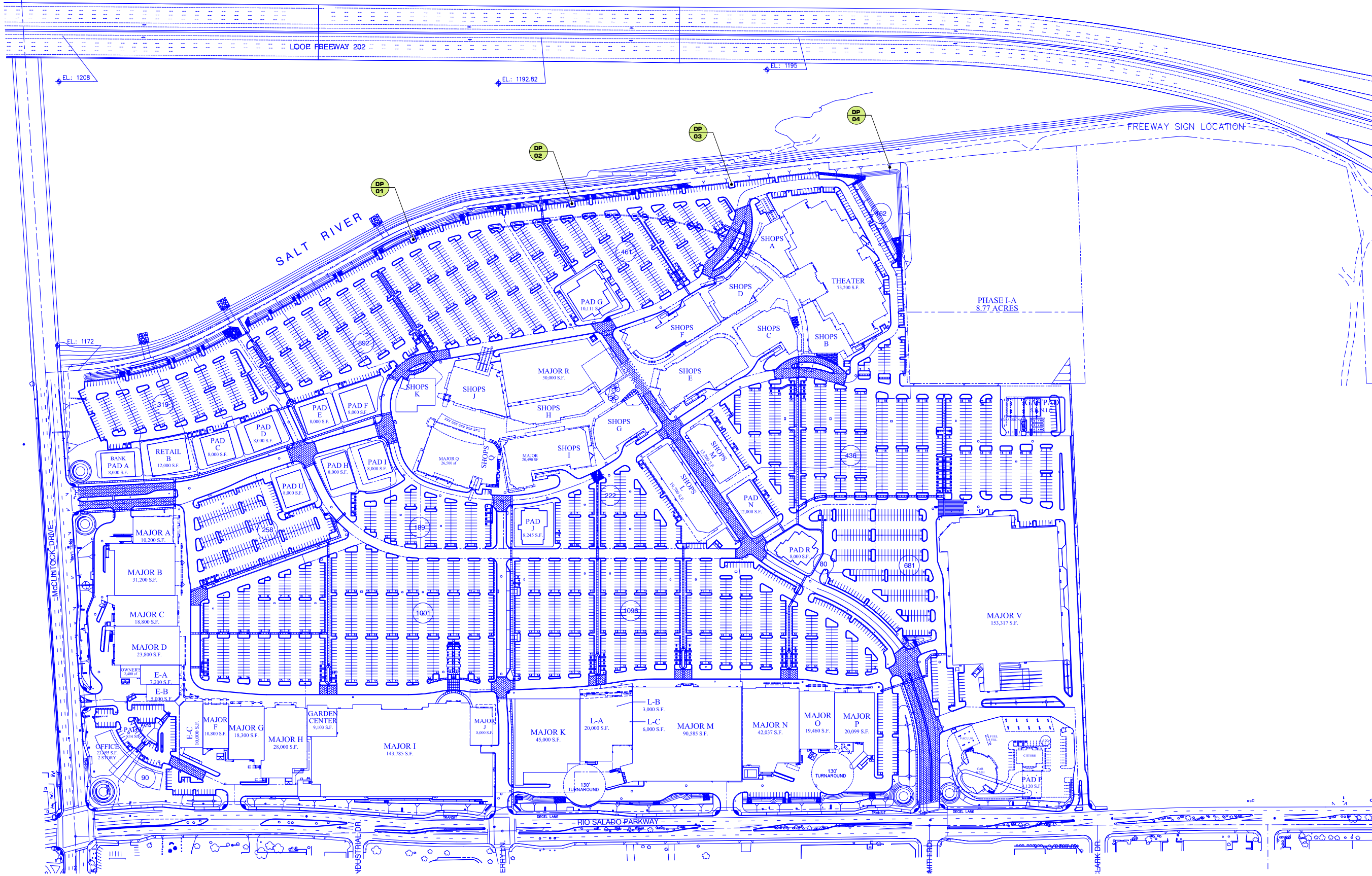
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APPROVED BY: X

PROJECT:	
Tempe Marketplace Tempe, AZ	
TITLE:	
A-GRAPHIC ARC PARTIAL ELEV / PLAN	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO.:	SCALE:
2004-C-012	AS NOTED
DATE:	SHEET NO.:
04/10/06	GA-2

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**SIGNAGE ARC PARTIAL PLAN/ ELEV.**  
SCALE: 1/8"=1'-0"



DP- Architectural Display Panel

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A project for:



**Vestar**  
 2425 E. CAMELBACK RD.  
 SUITE 750  
 PHOENIX, AZ 85016  
 TEL: 602.866.0900  
 FAX: 602.955.2298

Architects:

Design Architects:



**HTH Group**  
 8383 Wilshire Boulevard  
 Beverly Hills, California  
 90211  
 310.278.0000

Executive Architects:

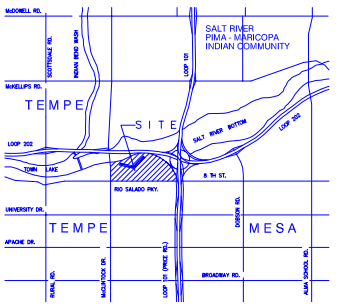
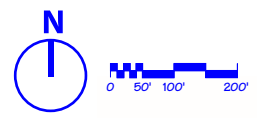


**Butler Design Group Inc.**  
 Architects & Planners  
 5555 East Van Buren St.  
 Suite 215  
 Phoenix, Arizona 85008  
 phone 602-957-1800  
 fax 602-957-7722

Signage Consultant:

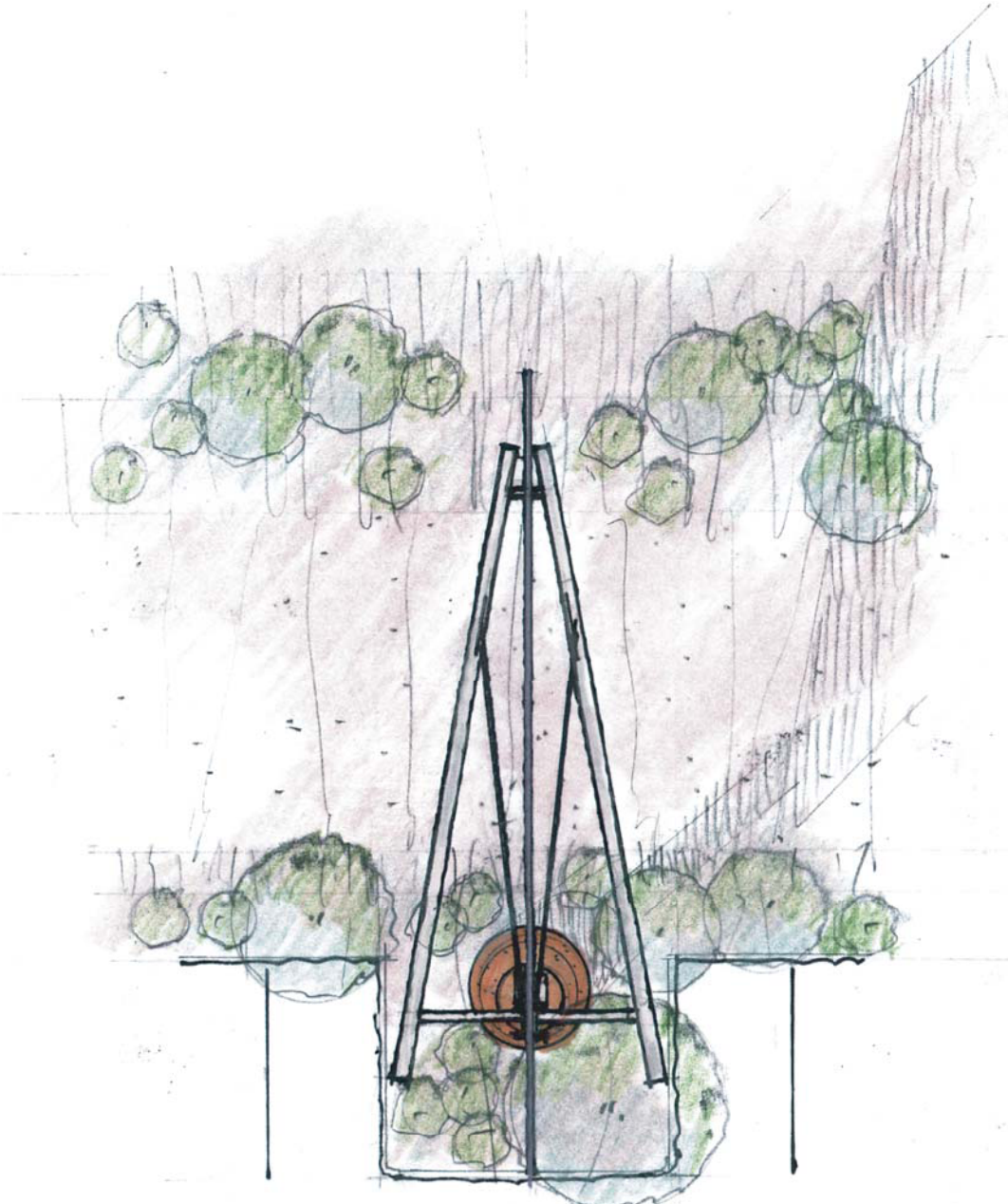


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 2030 WEST DESERT COVE AVE.  
 PHOENIX, ARIZONA 85029  
 602.944.3117  
 FAX 602.395.0753  
 SALES@BLEIERINDUSTRIES.COM



VICINITY MAP

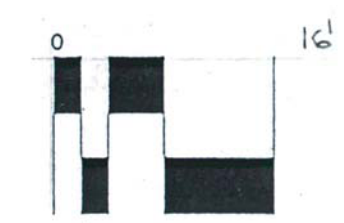
VESTAR SITE 04-20-06



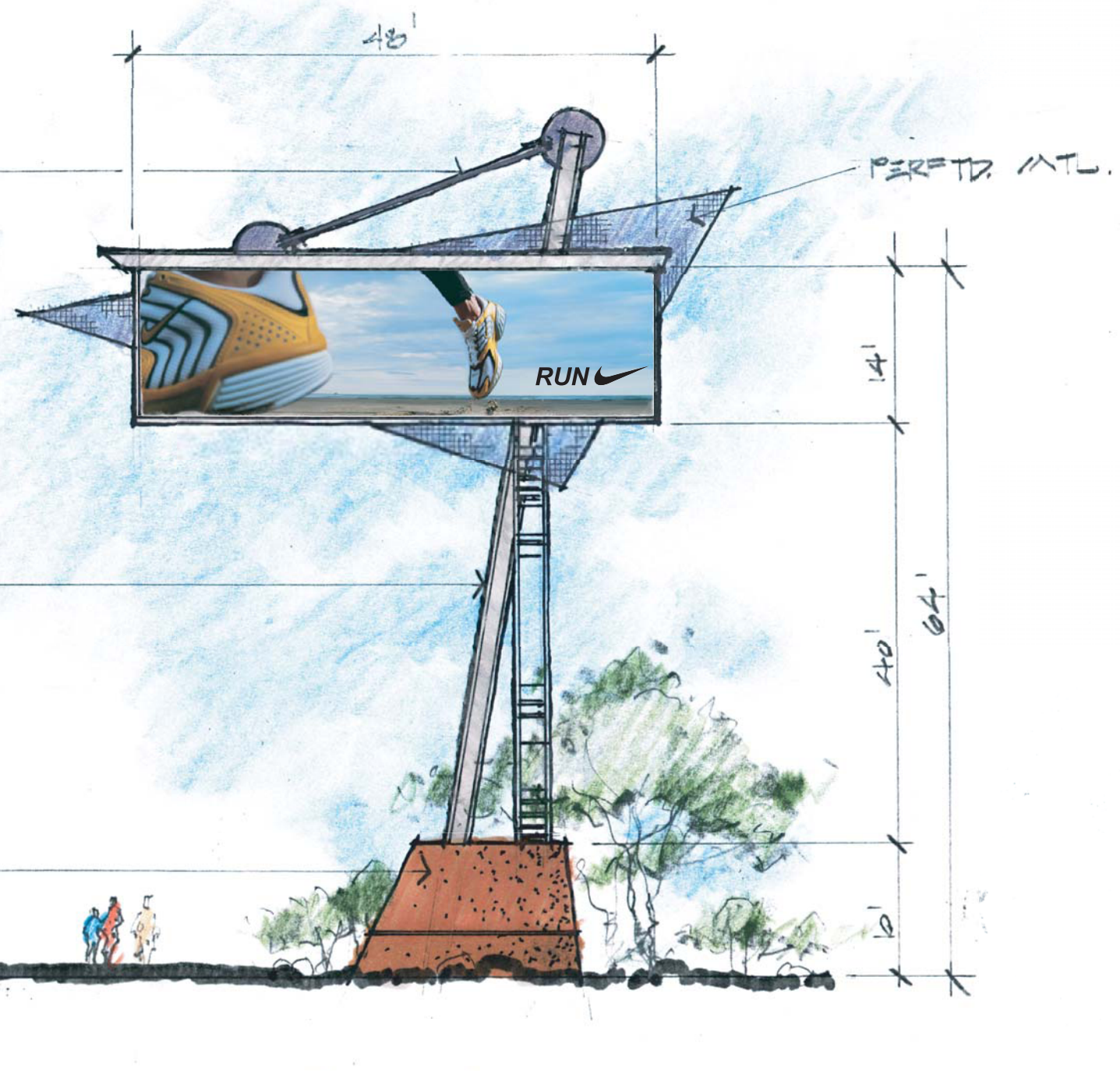
AERIAL (PLAN) VIEW

SUSP. RODS

"TWIN STL. CHANNEL" SUPPORT COL.



TRUNCATED CONG. BASE



SIDE (ELEV.) VIEW

# TEMPE MARKETPLACE

Revised Concept for ARCHITECTURAL DISPLAY PANELS

30 January 2006



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PROJECT:	Tempe Marketplace Tempe, AZ
TITLE:	Architectural Display Panel
DESIGNER:	Dan Horton
SALES:	Paul Bleier

DESIGN NO.:	2004-C-012	DATE:	04/10/06
SCALE:	AS NOTED	REVISIONS:	
SHEET NO.:	DP-1		

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APPROVED BY: X





## General Requirements Building Signage

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout Tempe Marketplace for the mutual benefit of all tenants, and to comply with the approved Comprehensive Sign Plan for the development, regulations of the City of Tempe Sign Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Tenant shall be brought into conformance at the sole cost and expense of the Tenant. This criteria is subject to final approval by the City of Tempe as part of a Comprehensive Sign Plan submittal.

### I. GENERAL REQUIREMENTS

- A. Each tenant shall submit or cause to be submitted to the Developer, for approval, prior to fabrication, four (4) copies of detailed drawings indicating the location, size, layout, color, illumination materials and method of attachment.
- B. Tenant or Tenant's representative shall obtain all permits for signs and their installation from the City of Tempe.
- C. All signs shall be constructed and installed at Tenant's sole expense.
- D. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the local municipality.
- E. All signs shall be reviewed by the Developer for conformance with these criteria and overall design quality. Approval and/or disapproval of sign submittals based on aesthetics of design, size, message content and placement shall remain the sole and exclusive right of Developer or Developer's authorized representative.
- F. Tenant shall be responsible for the installation and maintenance of Tenant's sign. Should Tenant's sign require maintenance or repair, Developer shall give Tenant thirty (30) days written notice to effect said

maintenance or repair. Should Tenant fail to do the same, Developer may undertake repairs and Tenant shall reimburse Developer within ten (10) days from receipt of Developer's invoice.

- G. Advertising devices such as freestanding attraction boards, persons holding signs and/or posters, banners, inflatables, balloons, painted and/or decorated motor vehicles and flags shall not be permitted.

### II. SPECIFICATIONS - TENANT SIGNS

#### A. General Specifications

1. No animated, flashing, general readerboard, or audible signs shall be permitted except as provided for within "The District" area and movie theatre complex.
2. All signs and their installation shall comply with all local building and electrical codes.
3. No exposed raceways, crossovers or conduit shall be permitted except for locations in which the tenant's signage is installed on top of or suspended from a canopy and/or mounted to a sign background that otherwise cannot conceal a remote wiring configuration. All tenant signage shall consist of individual letters, whenever possible, and shall be installed onto the building's wall surface and /or support structure designated by the Developer.
4. All cabinets, conductors, transformers and other equipment shall be concealed, except as noted above.
5. Painted lettering shall not be permitted except as approved by the Developer as part of a tenant's corporate identification program.
6. Any damage to the sign mounting surface, canopy and/or specialty structure resulting from Tenant's sign installation shall be repaired at Tenant's sole expense.
7. Upon removal of any sign by a Tenant, any damage to the mounting surface, canopy and/or specialty structure shall be repaired by the Tenant or by Developer at Tenant's expense.
8. Developer shall have sole and separate discretion in varying any provision of these specifications.

#### B. Building Sign Locations

1. All tenant signs and devices identifying the business use, shall be attached to the building surface, canopies and/or specialty structures as directed by the Developer.

2. All Major and Mini-Major Tenants along McClintock Drive and Rio Salado Parkway shall place signage on both their front and rear elevations in locations designated on the approved plans as directed by the Developer.
3. Tenants within "The District" with storefronts facing the interior shall place signage above their storefront on wall surfaces, canopies, and/or projecting structures as designated by the Developer. In addition, Tenant's having only interior wall elevations shall be permitted to place signage on wall surfaces erected by the Developer to screen loading area driveways surrounding "The District" in locations designated on the approved plans and as directed by the Developer. Tenants having exterior wall surfaces in addition to interior storefronts shall place signage on both elevations in locations designated on the approved plans as directed by the Developer.
4. "The District" movie theatre complex shall be permitted to place signage on all elevations as designated on the approved plans as directed by the Developer. Specialty signage may include theatre identification, electronics, posters, neon graphics, and graphic images.
5. "Tempe Marketplace" shall be identified by individual letters mounted on top of the Graphic Arc display as designated on the approved plans.
6. Thematic graphic images shall be displayed throughout the project on wall surfaces, pylons and support structures as designated on the approved plans.
7. Pad Tenants may place signage on all visible building elevations in locations designated on the approved plans as directed by the Developer.

### III. GENERAL DESIGN REQUIREMENTS

Tenant signage will consist primarily of individual illuminated letters and logos and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, letters utilizing exposed neon or any combination thereof. For Major and Mini-Major tenants, and for tenants within "The District", the Developer may consider exceptions subject to approval. The individual letterforms and logos are to be mounted onto building wall surfaces, may project partially above parapets, be mounted onto and/or on top of specialty structures and canopies. All electrical connections shall be concealed to remote transformers wherever possible. All signage shall be installed in compliance with the City of Tempe electrical code and UL 2161 / UL 48 specifications. Any sign installation found to be non-compliant with this requirement shall be repaired and/or replaced immediately by the Tenant at Tenant's sole expense.

- A. Sign Area:
  1. The maximum aggregate sign area per building elevation for each Major and Mini-Major tenants not located within "The District" shall be calculated by multiplying four (4) times the length of the storefront(s) and/or elevation(s) occupied by the tenant upon which the sign(s) is/are to be placed. This calculation shall apply independently to each individual elevation upon which signage is placed.
  2. The maximum aggregate sign area per building elevation and/or storefront for Major, Mini-Major, and/or shop tenants located within "The District" and having exterior facing elevations shall be calculated by multiplying five (5) times the length of the storefront(s) and/or elevation(s) occupied by the tenant upon which the sign(s) is/are to be placed. This calculation shall apply independently to each individual elevation. The maximum aggregate sign area per building elevation and/or storefront for Major, Mini-Major, and/or shop tenants located within "The District" only having interior facing elevations shall not have sign area limitations.
  3. Theatre signage shall be permitted a maximum aggregate sign area per building elevation calculated by multiplying six (6) times the length of the elevation(s) upon which the sign(s) is/are to be placed. This calculation shall apply independently to each individual elevation upon which signage is placed.
  4. Area for all sign copy located within Tempe Marketplace shall be the computed in square feet in accordance to the City of Tempe sign ordinance definition as follows:
 

Sign copy mounted or painted on a background panel or area distinctively painted, textured, illuminated or constructed as a background for the sign copy, shall be measured as the area contained within the geometric shape of the background panel or surface;

Sign copy mounted as individual letters or graphics against a wall or fascia of a building or other structure that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, shall be measured as the area enclosed by the smallest geometric shape that will enclose all sign copy;
- B. Letter Height and Placement Restrictions
  1. Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan in locations designated by the Developer and/or Developer's agents.
  2. Mini-Majors occupying less than 9999 SF shall be limited to a maximum upper case letter height of forty-eight (48") inches. Mini-Majors occupying 10000 SF through 49999 SF shall be limited to a maximum upper case letter height of sixty (60") inches. Majors occupying greater than 50000 SF

shall be limited to a maximum letter height of upper case eighty-four (84") inches. All national mini-major and major tenants shall be permitted to utilize their standard corporate identification programs subject to Developer approval and sign area limitations contained in the approved Comprehensive Sign Plan.

3. Shop tenants shall be limited to a maximum upper case letter height of thirty-six (36") inches.
  4. All signage shall be reviewed and approved by the developer and shall be creative in design so as to enhance the surrounding building features, visual environment, and thematic design of Tempe Marketplace. The Developer shall have sole and separate discretion in varying any provision of these specifications in order to achieve the desired visual effect.
  5. Major and Mini-Major signage shall not exceed seventy-five (75%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the sign background and/or mounting structure shall regulate letter height and placement. In no event shall a tenant's sign envelop, inclusive of logos and art forms, exceed seventy (70%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features.
  6. Shop tenant signage shall not exceed seventy-five (75%) percent of the tenant's leased storefront length whenever possible. The available surface area of the sign background and/or mounting structure shall regulate letter height and placement. In no event shall a tenant's sign envelop, inclusive of logos and art forms, exceed seventy (70%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features.
- C. Letter Style or Logo Restrictions
1. Tenant sign copy and/or logos utilized shall be the Tenant's choice, subject to the approval of Developer and/or Developer's agents and the City of Tempe.
- D. Illumination
1. Tenant building signage may be internally illuminated, backlit to create a silhouette, and/or a combination of lighting methods mentioned herein. Exposed neon shall be permitted.

E. Under Canopy Blade Sign

1. Each shop tenant shall install a double-faced non-illuminated under canopy blade sign in accordance to specifications approved in the Comprehensive Sign Plan. Major and Mini-Major tenants shall have the option to do so. All under canopy blade signs shall be manufactured by Landlord's project sign contractor to insure strict conformance to construction specifications. Each tenant shall reimburse Landlord for the cost of the display and installation thereof.
2. All under canopy blade sign copy shall be flat cut out graphics, such as Sintra™, surface applied to both sides of the display. The Developer and/or Developer's Agents shall approve all copy and graphic layout. Each shop tenant shall furnish and install the approved copy for said display at tenant's sole and separate expense. For convenience, tenant can furnish the copy to Landlord's project sign contractor for mounting and/or can provide the project's sign contractor with electronic art suitable for production. Tenant shall pay for all costs associated with the production and mounting of tenant's blade sign copy.
3. The blade sign shall be suspended and/or projected using a mechanism consistent with other under canopy blade signs throughout Tempe Marketplace as specified.

#### IV. GENERAL CONSTRUCTION REQUIREMENTS

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All signs shall be fabricated using full welded construction or a mechanical method so as to insure that there is no light leakage.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition. Tenant and/or tenant's sign contractor shall coordinate the sealing of all building penetrations with the shell building contractor to maintain warranties.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Tenant shall be fully responsible for the operations of Tenant's sign contractors and shall indemnify, defend and hold Developer harmless for, from and against damages or liabilities on account thereof.



## Building Sign Matrix Major and Mini-Major Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
<b>Major Tenant with occupancy greater than 50,000 SF</b>	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	84" Maximum Upper Case Letter Height	4 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
<b>Mini-Major Tenant with occupancy greater than 10,000 SF but less than 49,999 SF</b>	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	60" Maximum Upper Case Letter Height	4 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
<b>Mini-Major Tenant with occupancy less than 9,999 SF</b>	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	48" Maximum Upper Case Letter Height	4 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
<b>All Major Tenants</b>	Under Canopy Blade Sign (Optional)	Tenant Identification	In front of tenant's leased space	Maintain 8' Clearance AFF	8 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

General Notes:

- 1) All tenant signs or devices identifying the business use, shall be attached to the building surface, canopies and/or specialty structures as directed by the Developer.
- 2) All Major and Mini-Major Tenants along McClintock Drive and Rio Salado Parkway shall place signage on both their front and rear elevations in locations designated on the approved plans as directed by the Developer.
- 3) Tenant signage will consist primarily of individual illuminated letters and logos and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, letters utilizing exposed neon or any combination thereof. For Major and Mini-Major tenants, the Developer may consider exceptions for corporate identification programs.
- 4) Thematic graphic images shall be displayed throughout Tempe Marketplace on framed devices attached to support structures, building walls, and pylons. Thematic graphic images shall be placed in locations illustrated on the attached elevations.
- 5) Major and Mini-Major signage shall not exceed seventy-five (75%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the sign background and/or mounting structure shall regulate the tenant's letter height and placement. In no event shall a tenant's sign envelop, inclusive of logos and art forms, exceed seventy (70%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features.
- 6) The Developer shall have sole and separate discretion in varying any provision of these specifications.

**A. Sign Area:**

1. The maximum aggregate sign area per building elevation for each Major and Mini-Major tenants not located within "The District" shall be calculated by multiplying four (4) times the length of the storefront(s) and/or elevation(s) occupied by the tenant upon which the sign(s) is/are to be placed. This calculation shall apply independently to each individual elevation upon which signage is placed.

2. The maximum aggregate sign area per building elevation and/or storefront for Major, Mini-Major, and/or shop tenants located within "The District" and having exterior facing elevations shall be calculated by multiplying five (5) times the length of the storefront(s) and/or elevation(s) occupied by the tenant upon which the sign(s) is/are to be placed. This calculation shall apply independently to each individual elevation. The maximum aggregate sign area per building elevation and/or storefront for Major, Mini-Major, and/or shop tenants located within "The District" only having interior facing elevations shall not have sign area limitations.

3. Theatre signage shall be permitted a maximum aggregate sign area per building elevation calculated by multiplying six (6) times the length of the elevation(s) upon which the sign(s) is/are to be placed. This calculation shall apply independently to each individual elevation upon which signage is placed.

4. Area for all sign copy located within Tempe Marketplace shall be the computed in square feet in accordance to the City of Tempe sign ordinance definition as follows:

Sign copy mounted or painted on a background panel or area distinctively painted, textured, illuminated or constructed as a background for the sign copy, shall be measured as the area contained within the geometric shape of the background panel or surface;

Sign copy mounted as individual letters or graphics against a wall or fascia of a building or other structure that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, shall be measured as the area enclosed by the smallest geometric shape that will enclose all sign copy;

**B. Letter Height and Placement Restrictions**

1. Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan in locations designated by the Developer and/or Developer's agents.

2. Mini-Majors occupying less than 9999 SF shall be limited to a maximum upper case letter height of forty-eight (48") inches. Mini-Majors occupying 10000 SF through 49999 SF shall be limited to a maximum upper case letter height of sixty (60") inches. Majors occupying greater than 50000 SF shall be limited to a maximum letter height of upper case eighty-four (84") inches. All national mini-major and major tenants shall be permitted to utilize their standard corporate identification programs subject to Developer approval and sign area limitations contained in the approved Comprehensive Sign Plan.

3. Shop tenants shall be limited to a maximum upper case letter height of thirty-six (36") inches.

4. All signage shall be reviewed and approved by the developer and shall be creative in design so as to enhance the surrounding building features, visual environment, and thematic design of Tempe Marketplace. The Developer shall have sole and separate discretion in varying any provision of these specifications in order to achieve the desired visual effect.

5. Major and Mini-Major signage shall not exceed seventy-five (75%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the sign background and/or mounting structure shall regulate letter height and placement. In no event shall a tenant's sign envelop, inclusive of logos and art forms, exceed seventy (70%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features.

6. Shop tenant signage shall not exceed seventy-five (75%) percent of the tenant's leased storefront length whenever possible. The available surface area of the sign background and/or mounting structure shall regulate letter height and placement. In no event shall a tenant's sign envelop, inclusive of logos and art forms, exceed seventy (70%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features.

CALCULATE AREA OF THE SMALLEST GEOMETRIC SHAPE

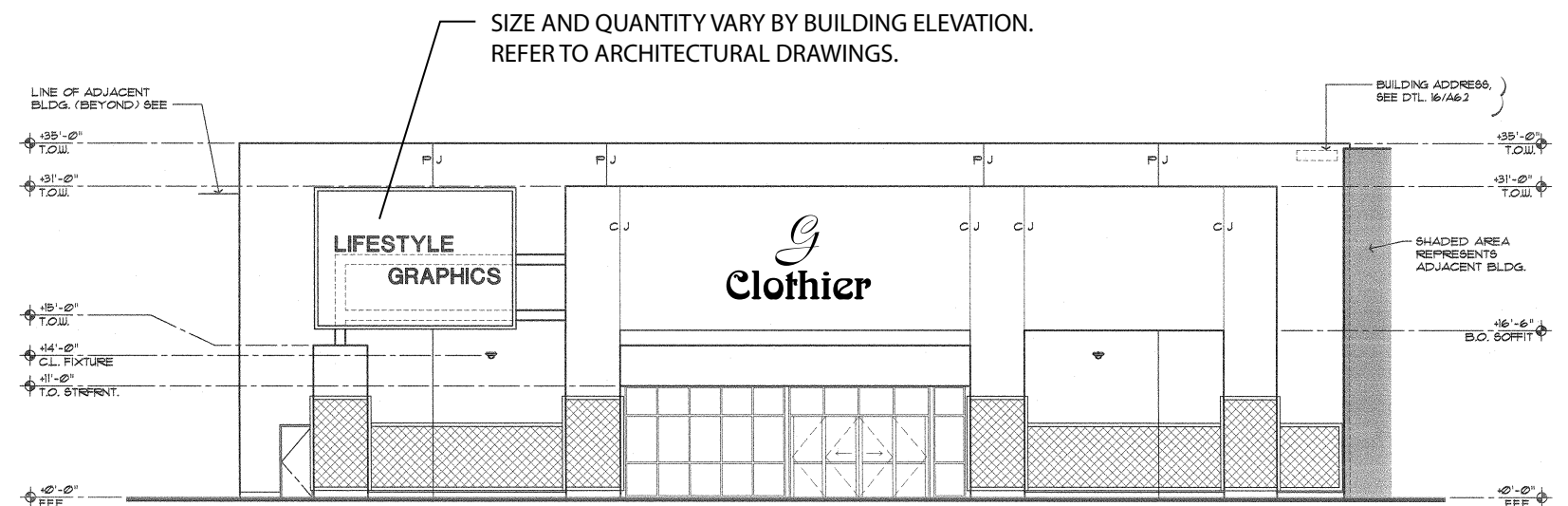


1. Proper method of tenant sign area calculation

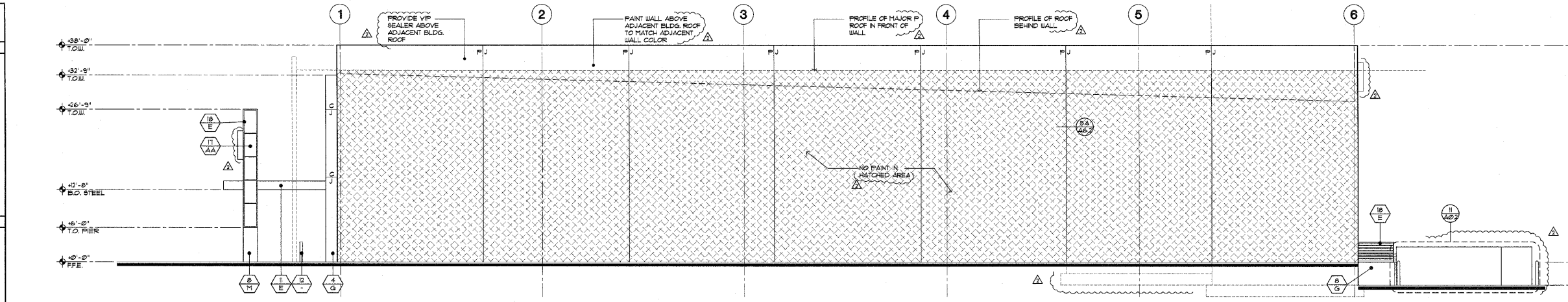


2. Improper method of tenant sign area calculation due to multiple geometric shapes

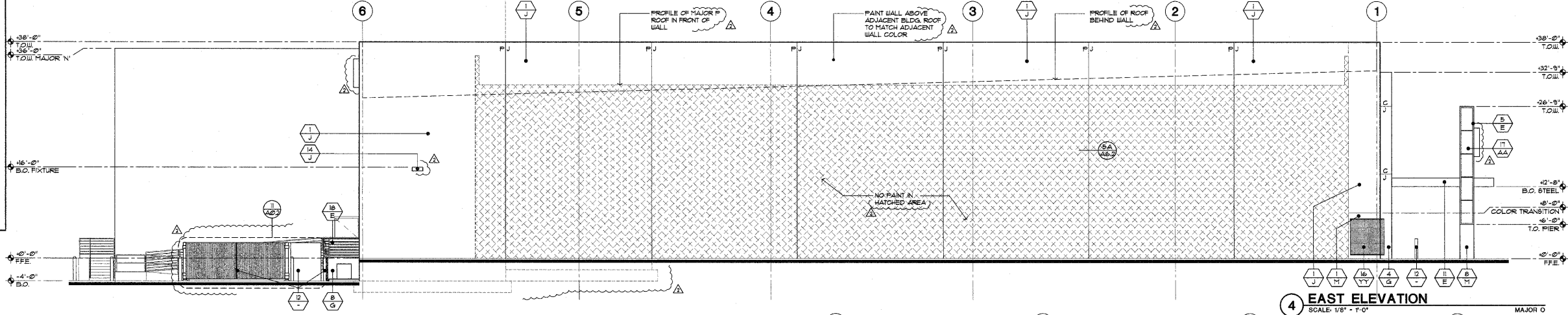
**Sign copy mounted as individual letters or graphics against a wall or fascia of a building or other structure that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, shall be measured as the area enclosed by the smallest geometric shape that will enclose all sign copy.**



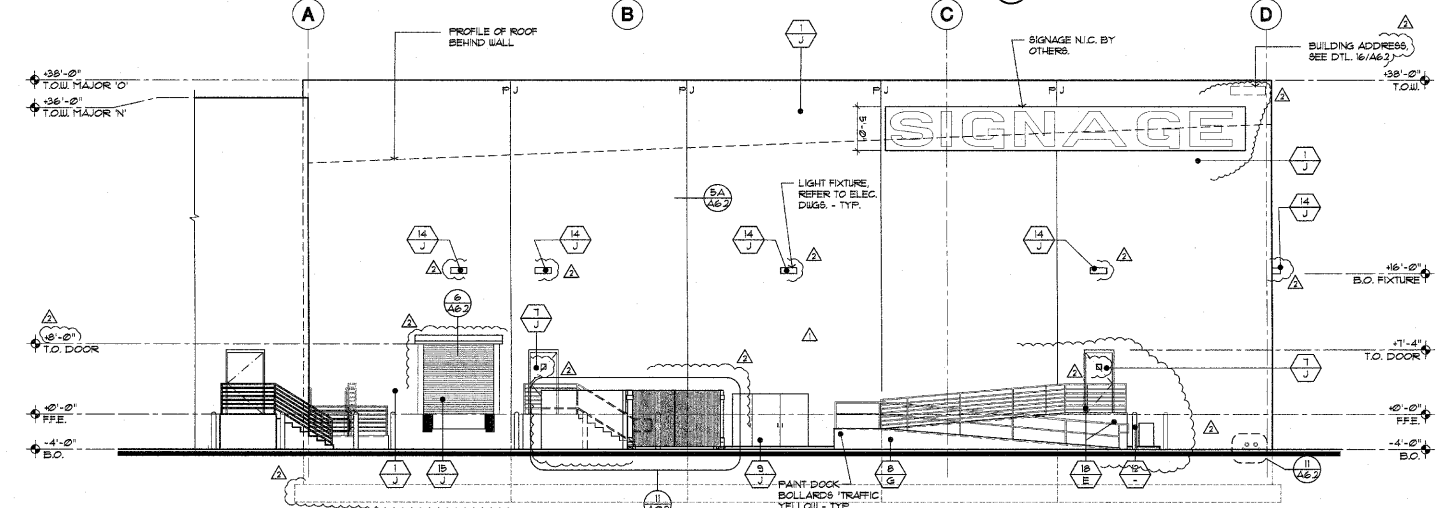
MATERIAL/COLOR SCHEDULE	
<b>MATERIALS</b>	
1.	CONCRETE TILT-UP WALL PANEL
2.	MASONRY
3.	ELFS - CUSTOM COLOR
4.	STUCCO
5.	DECORATIVE STEEL PAINTED
6.	ALUMINUM STOREFRONT
7.	HOLLOW METAL DOOR
8.	CONCRETE BASE
9.	S.E.S.
10.	ELFS, CORNICE - CUSTOM COLOR
11.	STEEL AWNING
12.	STEEL PIPE BOLLARD
13.	WALL PACK LIGHT FIXTURE
14.	DECORATIVE LIGHT FIXTURE
15.	COILING OVERHEAD DOOR
16.	METAL GREEN SCREEN
17.	PERFORATED METAL PANEL
18.	STEEL
19.	STANDING SEAM METAL ROOF
20.	LIGHT GAGE METAL PANEL
21.	C.I.P. CONCRETE
22.	SHEET METAL COPING
<b>COLORS</b>	
* PAINT - SHERWIN WILLIAMS	
A.	#SW1537 BOYSENBERRY
B.	#SW1545 VIBRANT VIOLET
C.	#SW2051 BEACH HOUSE
D.	#SW2124 STONCUTTER
E.	#SW2145 MEDIEVAL MAUVE
F.	#SW2169 SONGBIRD
G.	#SW2173 SHAKER RED
H.	#SW2194 PRAIRIE SAND
I.	#SW2195 ROADSIDE
J.	#SW2201 GOLDEN GATE
K.	#SW2225 WILLOWBROOK
L.	#SW2229 ALPINE GREEN
M.	#SW2274 COSMOPOLITAN GRAY
N.	#SW2292 WILD ROSE
O.	#SW2313 SEQUOIA CLAY
P.	#SW2315 AWNING RED
Q.	#SW2321 BONFIRE
R.	#SW2327 STREET FAIR
S.	#SW2330 HONEYBEE
T.	#SW2331 GOLDEN BLUFF
U.	#SW2085 ZEUS
V.	#SW1552 BAROQUE PLUM
X.	#SW2306 CRANBERRY BOG
Y.	#SW6112 BISCUIT
* CONCRETE BASE	
W.	COLORED CONCRETE "SIERRA" BY DAVIS COLORS
* GREENSCREEN - GREENSCREEN	
Z.	WRINKLE GREEN
YY.	SILVER
* PERFORATED METAL PANEL BY MENCHALS	
AA.	BRUSHED ALUMINUM
* ALUMINUM STOREFRONT AS FACTORY APPLIED FINISH	
* CONCRETE TILT-UP PANEL PARAPET V.V.P SEALER	



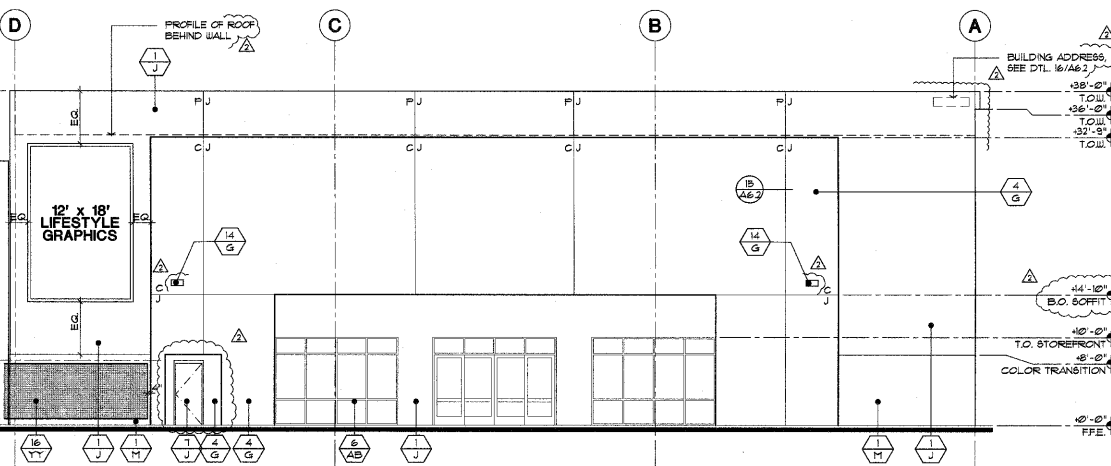
5 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



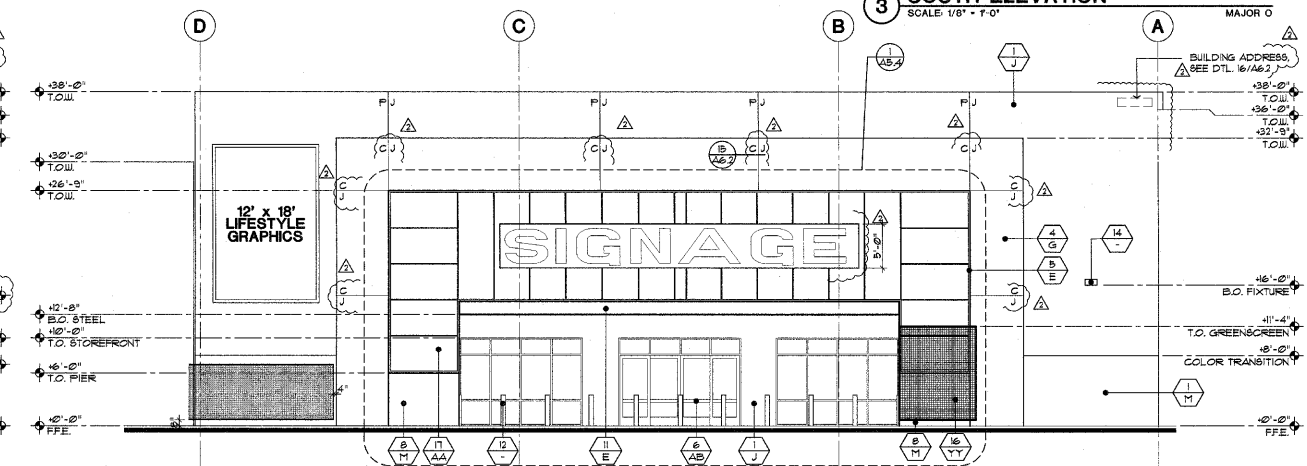
4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEV. W/O FRAG. WALL  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

## TYPICAL MAJOR TENANT ELEVATIONS AND SIGNAGE LOCATIONS

**Bgd**  
Butler Design Group Inc.  
Architects & Planners  
5555 East Van Buren St.  
Suite 215  
Phoenix, Arizona 85008  
phone 602-967-1800  
fax 602-957-7722



OWNERSHIP OF INSTRUMENTS OF SERVICE  
The design, plans, specifications, contract documents and all other documents and materials prepared by the design professional are the property of the design professional. The design professional shall retain all rights in the design and all other documents, including the copyright therein.

**V** VESTAR DEVELOPMENT

NOTICE OF ALTERNATE BIDDING PROCEDURE  
THE CONTRACTOR SHALL BE REQUIRED TO REQUIRE THE BIDDING OF ALUMINUM STOREFRONT TO BE MADE IN CONJUNCTION WITH THE BIDDING OF THE PROJECT. THE BIDDING OF ALUMINUM STOREFRONT SHALL BE MADE IN CONJUNCTION WITH THE BIDDING OF THE PROJECT. THE BIDDING OF ALUMINUM STOREFRONT SHALL BE MADE IN CONJUNCTION WITH THE BIDDING OF THE PROJECT. THE BIDDING OF ALUMINUM STOREFRONT SHALL BE MADE IN CONJUNCTION WITH THE BIDDING OF THE PROJECT.

EXECUTED LEASE AGREEMENT DATE: 11.04.04  
TENANT PROTOTYPE

MAJOR 'O' - OFFICEMAX  
1900 E. RIO SALADO PARKWAY TEMPE, AZ

Revisions:  
1. ISSUE FOR BID 08.05.05  
2. TENANT CITY COMMENTS 10.29.05

Title: MAJOR 'O' ELEVATIONS  
Date: 01.28.06  
Project number: 04316  
Drawn by: JEMI  
Checked by: SG  
CAD file: 315-A4.1  
 Design Development  
 Progress Const. Docs.  
 City Submittal  
 Bid Package  
 Construction Issue  
 Record Drawings  
Sheet Number:

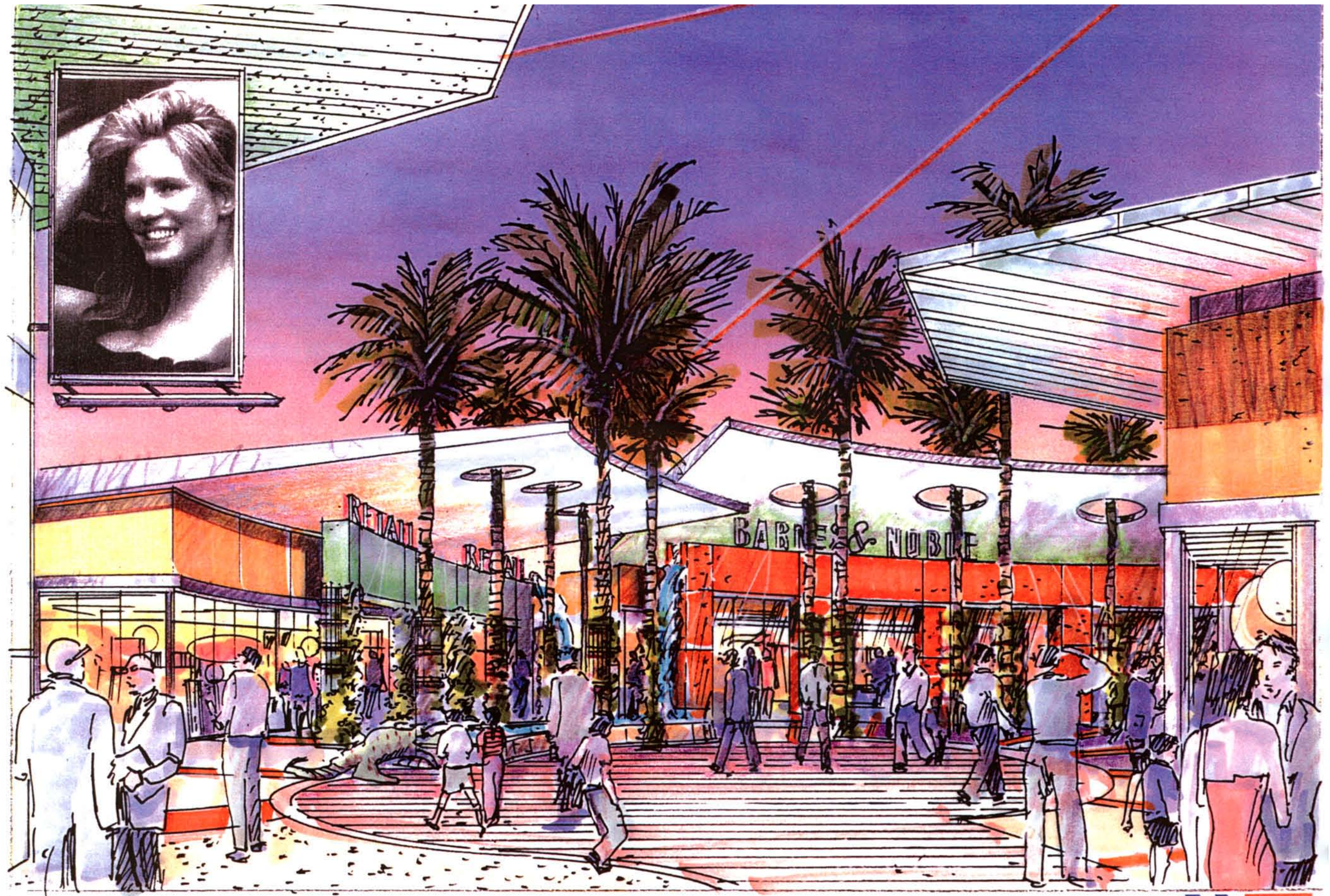


## Building Sign Matrix “The District” and Shop Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
<b>Major Tenant with occupancy greater than 50,000 SF</b>	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	84" Maximum Upper Case Letter Height	5 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
<b>Mini-Major Tenant with occupancy greater than 10,000 SF but less than 49,999 SF</b>	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	60" Maximum Upper Case Letter Height	5 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
<b>Mini-Major Tenant with occupancy less than 9,999 SF</b>	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	48" Maximum Upper Case Letter Height	5 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
<b>Shop Tenants</b>	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	36" Maximum Upper Case Letter Height	5 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
<b>Shop Tenants</b>	Under Canopy Blade Sign	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

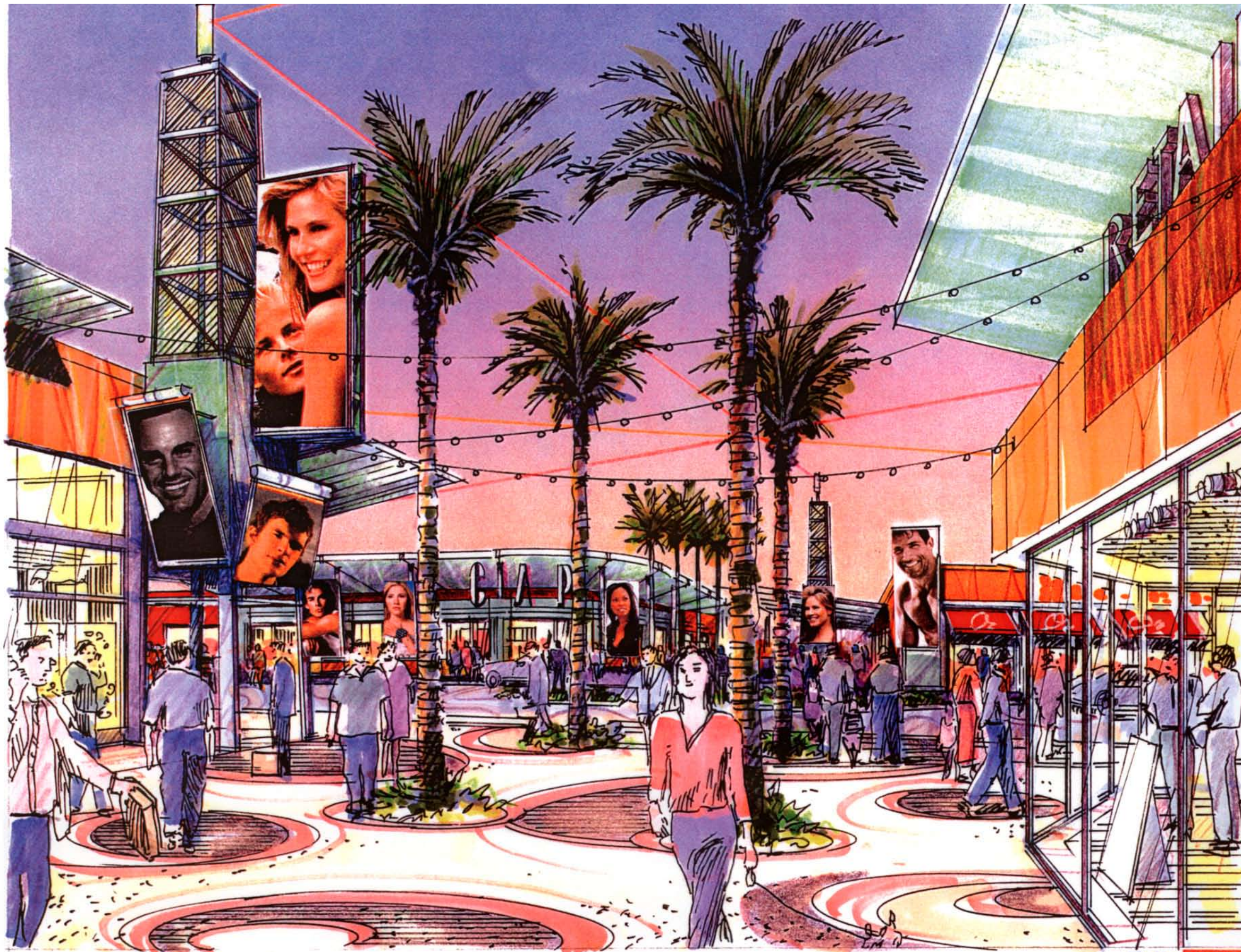
General Notes:

- 1) All tenant signs or devices identifying the business use, shall be attached to the building surface, canopies and/or specialty structures as directed by the Developer.
- 2) All signage placed within “The District” interior shall be exempt from sign area and letter size restrictions. Tenants only having interior elevations shall be permitted to place additional signage on wall surfaces erected to screen the loading driveways on the exterior of “The District” in specific locations as directed by the Developer.
- 3) Tenant signage will consist primarily of individual illuminated letters and logos and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, letters utilizing exposed neon or any combination thereof to create a unique and creative display. The Developer may consider exceptions for corporate identification programs.
- 4) Thematic graphic images shall be displayed throughout “The District” on framed devices attached to support structures, building walls, and stylons. Thematic graphic images shall be placed in locations illustrated on the attached elevations.
- 5) Major, Mini-Major and Shop Tenant’s signage shall not exceed seventy-five (75%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the sign background and/or mounting structure shall regulate the tenant’s letter height and placement. In no event shall a tenant’s sign envelop, inclusive of logos and art forms, exceed seventy (70%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features.
- 6) The Developer shall have sole and separate discretion in varying any provision of these specifications.



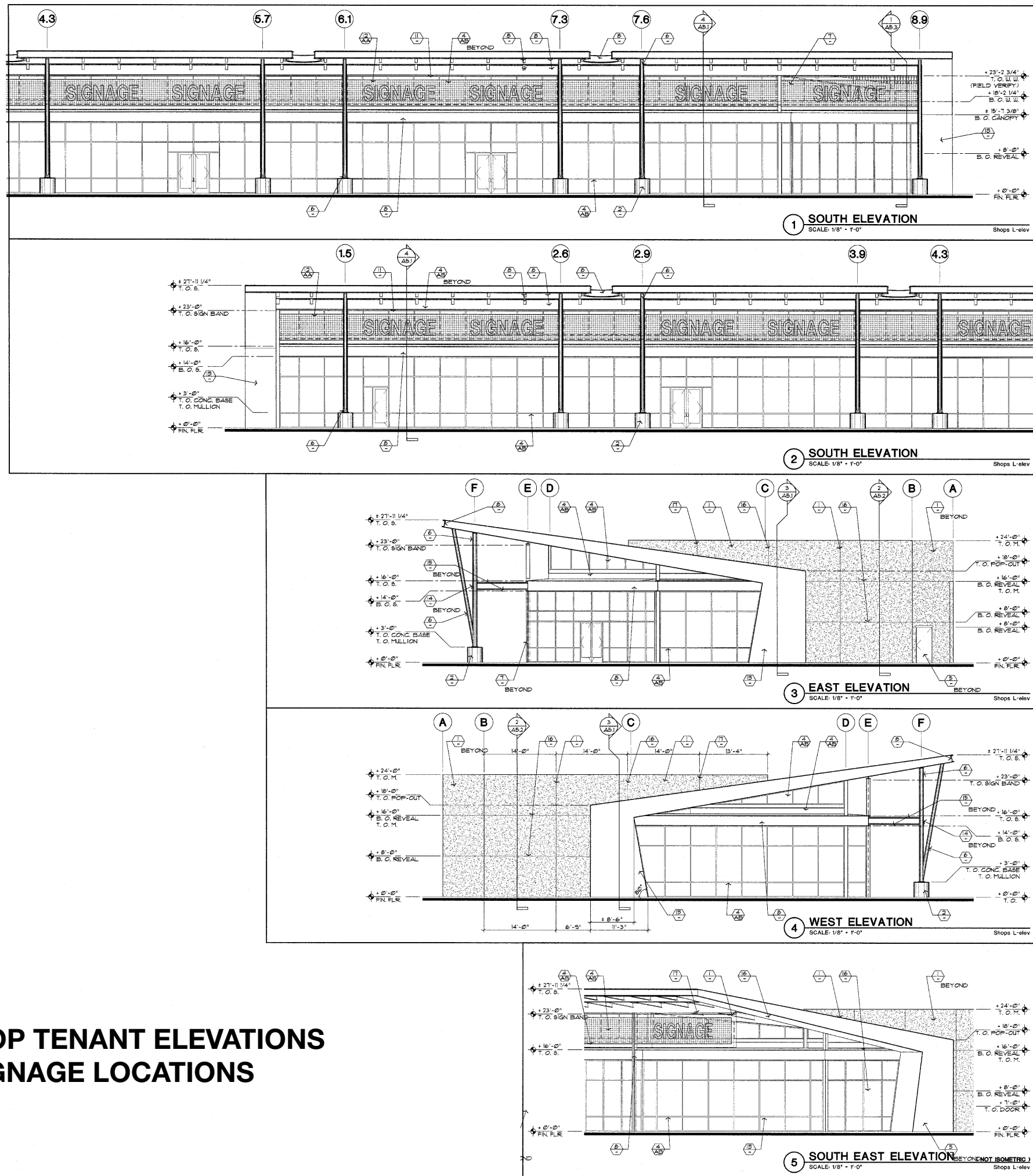
VIEW IN THE DISTRICT LOOKING WEST AT THE WEST PLAZA





VIEW IN THE DISTRICT LOOKING NORTH EASTERLY AT THE BISECTING STREET DROP OFF





# TYPICAL SHOP TENANT ELEVATIONS AND SIGNAGE LOCATIONS

## MATERIAL / FINISH SCHEDULE

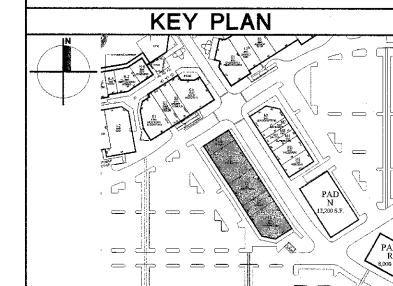
MATERIALS	MATERIAL	FINISH
1. STUCCO OVER MASONRY		
2. CONCRETE BASE		
3. 1 1/2" METAL DECKING		
4. ALUMINUM STOREFRONT		
5. HOLLOW METAL DOOR		
6. PIPE COLUMN		
7. WIDE FLANGE COLUMN		
8. WIDE FLANGE BEAM		
9. WALL PACK LIGHT FIXTURE		
10. METAL GREEN SCREEN		
11. TUBE STEEL FRAME		
12. PERFORATED METAL PANEL		
13. SHEET METAL OVER METAL STUDS		
14. PIPE COLLAR		
15. DECORATIVE PIPE		
16. STUCCO EXPANSION JOINT		
17. MASONRY CONTROL JOINT		

FINISH
*PAINT - SHERWIN WILLIAMS'
A #01371 BOYSENBERRY
B #01545 VIBRANT VIOLET
C #01992 BARCOLE FLUM
D #01993 BEACH HOUSE
E #01288 ZEUS
F #01214 STONECUTTER
G #01749 MEDIEVAL NAUVE
H #01216 SOMBREIRO
I #01213 SHAKER RED
J #01214 WILLOWBROOK
K #01219 ROADSIDE
L #01221 GOLDEN GATE
M #01222 WILLOWBROOK
N #01223 AUDUBON GREEN
O #01214 CROMWELL GRAY
P #01220 WILD ROSE
Q #01306 CRANBERRY BOG
R #01213 SEDONA CLAY
S #01214 AINING RED
T #01221 BONFIRE
U #01221 STREET FAIR
V #01330 HONEYBEE
W #01231 GOLDEN BLUFF
X METALLIC SILVER
*GREENSCREEN - GREENSCREEN'
Y WRINKLE GREEN
Z SILVER
*PERFORATED METAL PANEL - MANICHOUS'
AA BRUSHED ALUMINUM
*ALUMINUM STOREFRONT
AB FACTORY APPLIED FINISH

## ELEVATION GENERAL NOTES

- SEE ENLARGED ELEVATIONS, DETAILS AND WALL SECTIONS FOR ADDITIONAL INFORMATION IN RELATIONSHIP TO EXTERIOR CONDITIONS.
- SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- GRADES AT PERIMETER OF BUILDING ARE TO BE COORDINATED WITH THE CIVIL DOCUMENTS FOR ACTUAL FINISH GRADE LOCATIONS.
- TOP OF PARAPET IS BASED ON ELEVATION ABOVE FINISH FLOOR.
- SEE DOOR AND WINDOW SCHEDULES AND ELEVATIONS FOR ADDITIONAL INFORMATION IN RELATIONSHIP TO TYPE AND STYLE.
- ALL DIMENSIONS SHOWN FOR LOCATIONS OF FINISHES OF EXTERIOR ELEMENTS AND ARE TO BE COORDINATED WITH ARCHITECTURAL FLOOR PLANS.
- SEE MATERIAL / COLOR SCHEDULE FOR ADDITIONAL INFORMATION.
- ALL GLASS SHOWN TO BE WITHIN 18" OF FINISH FLOOR AND WITHIN 24" OF DOORS SHALL BE TEMPERED GLASS AT ALL CONDITIONS.
- PAINT TRANSITIONS ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO APPLICATION.
- SEE ELECTRICAL DOCUMENTS FOR EXTERIOR LIGHTING FIXTURES. THE LOCATIONS SHOWN ON THE EXTERIOR ELEVATIONS SHALL BE USED AT ALL LOCATIONS.
- PROVIDE BUILDING ADDRESS NUMBERS AT STREET SIDE OF BUILDING AND OTHER LOCATIONS AS SHOWN ON THE EXTERIOR ELEVATIONS. NUMBERS SHALL BE MINIMUM 12" HIGH REVERSE FAN CHANNEL IN CONTRASTING COLORS.
- ALL MECHANICAL UNITS AND ROOF MOUNTED EQUIPMENT SHALL BE SCREEN FROM VIEW WITH THE PARAPET.
- SEE ENLARGED ELEVATIONS FOR ADDITIONAL HORIZONTAL CONTROL.
- SEE SITE PLAN AND HARDSCAPE PLANS FOR ADDITIONAL ALIGNMENT ITEMS IN RELATIONSHIP TO THE BUILDING TO SITE RELATED HORIZONTAL CONTROL.
- TENANT SIGNAGE BY OTHERS, SEE SEPARATE SUBMITTAL, N/C.

Title:	SHOPS 'L' ELEVATIONS & NOTES
Date:	10-08-04
Project number:	04321 & 04322
Drawn by:	MK
Checked by:	SG
GAD file:	321&322-A4.1&A4.2



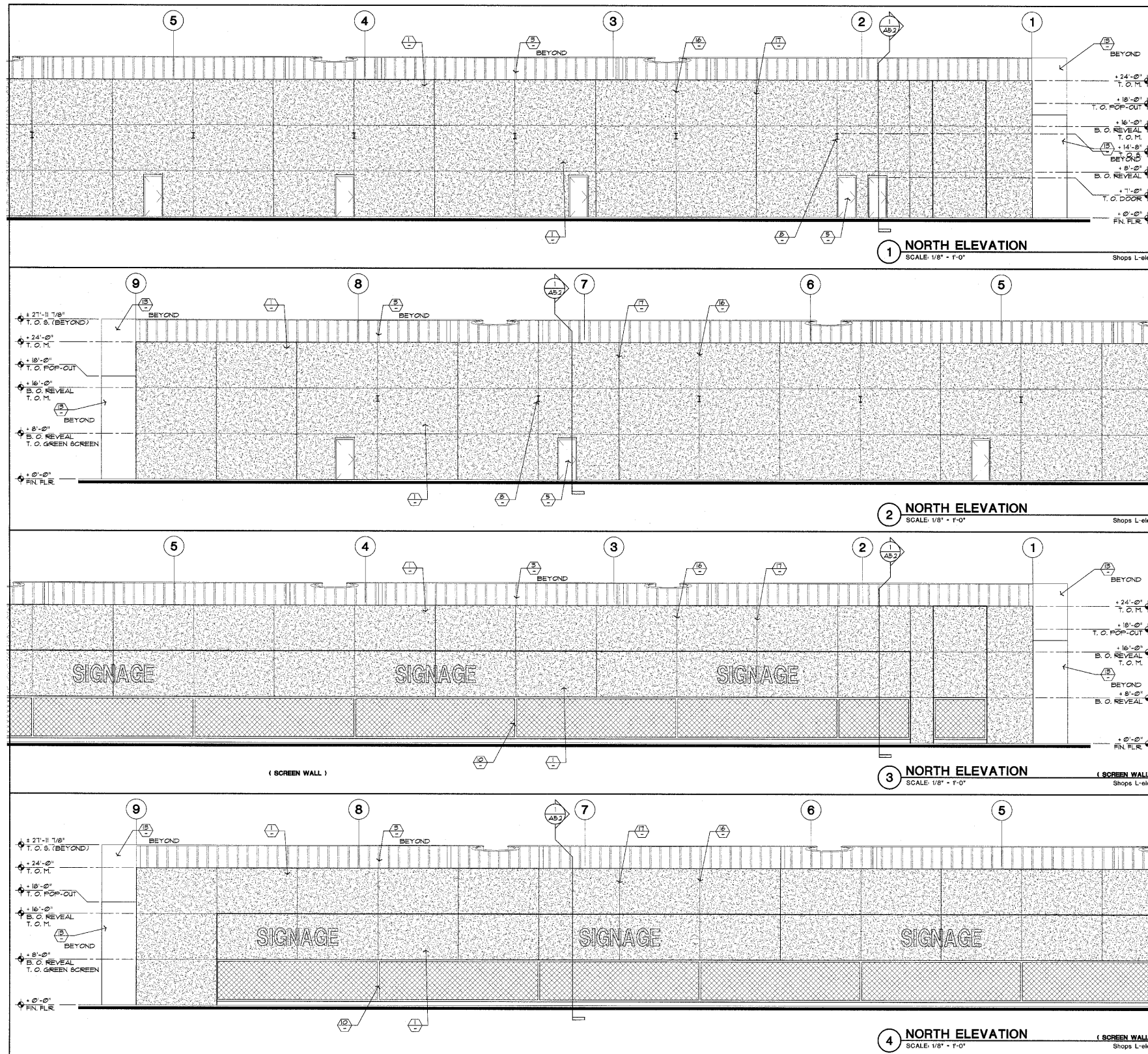
**Bd**  
Butler Design Group Inc.  
Architects & Planners  
5555 East Van Buren St.  
Suite 215  
Phoenix, Arizona 85008  
phone 602-957-1800  
fax 602-957-7722

OWNERSHIP OF INSTRUMENTS OF SERVICE  
Architects, Engineers, Planners, Surveyors, etc.  
shall not be responsible for the design or construction of any project unless they have performed an independent review of the design and construction documents prepared by the design professional. The design professional is responsible for the design and construction of any project unless they have performed an independent review of the design and construction documents prepared by the design professional.

**VESTAR DEVELOPMENT**  
THE COMPANY WILL BE RESPONSIBLE FOR THE PROVISION OF ALL UTILITIES TO THE PROJECT. THE COMPANY WILL BE RESPONSIBLE FOR THE PROVISION OF ALL UTILITIES TO THE PROJECT. THE COMPANY WILL BE RESPONSIBLE FOR THE PROVISION OF ALL UTILITIES TO THE PROJECT.

**TEMPLE MARKETPLACE**  
SHOPS 'L' & 'M'  
S.W.C. LOOP 202 & LOOP 101 TEMPE, ARIZONA

Revisions:	
Title:	SHOPS 'L' ELEVATIONS & NOTES
Date:	10-08-04
Project number:	04321 & 04322
Drawn by:	MK
Checked by:	SG
GAD file:	321&322-A4.1&A4.2
<input type="checkbox"/> Design Development	
<input type="checkbox"/> Progress Const. Docs	
<input type="checkbox"/> City Submittal	
<input type="checkbox"/> Bid Package	
<input type="checkbox"/> Construction Issue	
<input type="checkbox"/> Record Drawings	
Sheet Number:	<b>A4.1</b>



**TYPICAL SHOP TENANT ELEVATIONS  
AND SIGNAGE LOCATIONS**

**MATERIAL / FINISH SCHEDULE**

MATERIALS	MATERIAL	FINISH
1. STUCCO OVER MASONRY		
2. CONCRETE BASE		
3. 1 1/2" METAL DECKING		
4. ALUMINUM STOREFRONT		
5. HOLLOW METAL DOOR		
6. PIPE COLUMN		
7. WIDE FLANGE COLUMN		
8. WIDE FLANGE BEAM		
9. WALL PACK LIGHT FIXTURE		
10. METAL GREEN SCREEN		
11. TUBE STEEL FRAME		
12. PERFORATED METAL PANEL		
13. SHEET METAL OVER METAL STUDS		
14. PIPE COLLAR		
15. DECORATIVE PIPE		
16. STUCCO EXPANSION JOINT		
17. MASONRY CONTROL JOINT		

**FINISH**

\*PAINT - 'SHERWIN WILLIAMS'

A	#S01531 BOYSENBERRY
B	#S01545 VIBRANT VIOLET
C	#S01592 BARCOQUE PLUM
D	#S02051 BEACH HOUSE
E	#S02055 ZEUS
F	#S02124 STONECUTTER
G	#S02145 MEDICAL MAJAVE
H	#S02169 SCHIBERERO
I	#S02175 SHAKER RED
J	#S02184 PRAIRIE SAND
K	#S02199 ROADSIDE
L	#S02201 GOLDEN GATE
M	#S02223 WILLOWBROOK
N	#S02229 ALDUBON GREEN
O	#S02214 COSMOPOLITAN GRAY
P	#S02252 WILD ROSE
Q	#S02306 CRANBERRY BOG
R	#S02315 SEDONA CLAY
S	#S02314 KINING RED
T	#S02321 BONFIRE
U	#S02327 STREET FAIR
V	#S02330 HONEYBEE
W	#S02331 GOLDEN BLUFF
X	METALLIC SILVER

\*GREENSCREEN - 'GREENSCREEN'

Y	WRINKLE GREEN
Z	SILVER

\*PERFORATED METAL PANEL - 'MICHOLS'

AA	BRUSHED ALUMINUM
----	------------------

\*ALUMINUM STOREFRONT

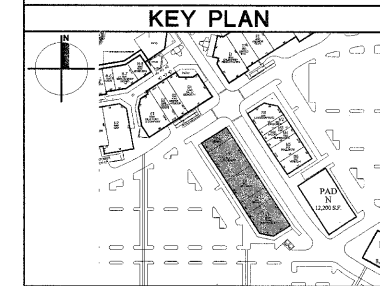
AB	FACTORY APPLIED FINISH
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**ELEVATION GENERAL NOTES**

- SEE ENLARGED ELEVATIONS, DETAILS AND WALL SECTIONS FOR ADDITIONAL INFORMATION IN RELATIONSHIP TO EXTERIOR CONDITIONS.
- SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- GRADES AT PERIMETER OF BUILDING ARE TO BE COORDINATED WITH THE CIVIL DOCUMENTS FOR ACTUAL FINISH GRADE LOCATIONS.
- TOP OF PARAPET IS BASED ON ELEVATION ABOVE FINISH FLOOR.
- SEE DOOR AND WINDOW SCHEDULES AND ELEVATIONS FOR ADDITIONAL INFORMATION IN RELATIONSHIP TO TYPE AND STYLE.
- ALL DIMENSIONS SHOWN FOR LOCATIONS OF FINISHES OF EXTERIOR ELEMENTS AND ARE TO BE COORDINATED WITH ARCHITECTURAL FLOOR PLANS.
- SEE MATERIAL / COLOR SCHEDULE FOR ADDITIONAL INFORMATION.
- ALL GLASS SHOWN TO BE WITHIN 1/8" OF FINISH FLOOR AND WITHIN 24" OF DOORS SHALL BE TIPPED GLASS AT ALL CONDITIONS.
- PAINT TRANSITIONS ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO APPLICATION.
- SEE ELECTRICAL DOCUMENTS FOR EXTERIOR LIGHTING FIXTURES, THE LOCATIONS SHOWN ON THE EXTERIOR ELEVATIONS SHALL BE USED AT ALL LOCATIONS.
- PROVIDE BUILDING ADDRESS NUMBERS AT STREET SIDE OF BUILDING AND OTHER LOCATIONS AS SHOWN ON THE EXTERIOR ELEVATIONS. NUMBERS SHALL BE MINIMUM 1" HIGH REVERSE PAN CHANNEL IN CONTRASTING COLORS.
- ALL MECHANICAL UNITS AND ROOF MOUNTED EQUIPMENT SHALL BE SCREEN FROM VIEW WITH THE PARAPET.
- SEE ENLARGED ELEVATIONS FOR ADDITIONAL HORIZONTAL CONTROL.
- SEE SITE PLAN AND HARDSCAPE PLANS FOR ADDITIONAL ALIGNMENT ITEMS IN RELATIONSHIP TO THE BUILDING TO SITE RELATED HORIZONTAL CONTROL.
- TENANT SIGNAGE BY OTHERS, SEE SEPARATE SUBMITTAL, N.C.

Revisions:

No.	Description



**Bgd**

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**VESTAR DEVELOPMENT**

THIS IS AN ALTERNATE ELEVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

**TEMPE MARKETPLACE**

SHOPS 'L' & 'M'  
S.W.C. LOOP 202 & LOOP 101 TEMPE, ARIZONA

Revisions:

No.	Description

Title: SHOPS 'L' ELEVATIONS & NOTES  
Date: 10-08-04  
Project number: 04321 & 04322  
Drawn by: MK  
Checked by: SG  
CAD file: 3218.322-A4.1&A4.2

Design Development  
 Progress Const. Docs.  
 City Submittal  
 Bid Package  
 Construction Issue  
 Record Drawings  
Sheet Number:

**A4.2**

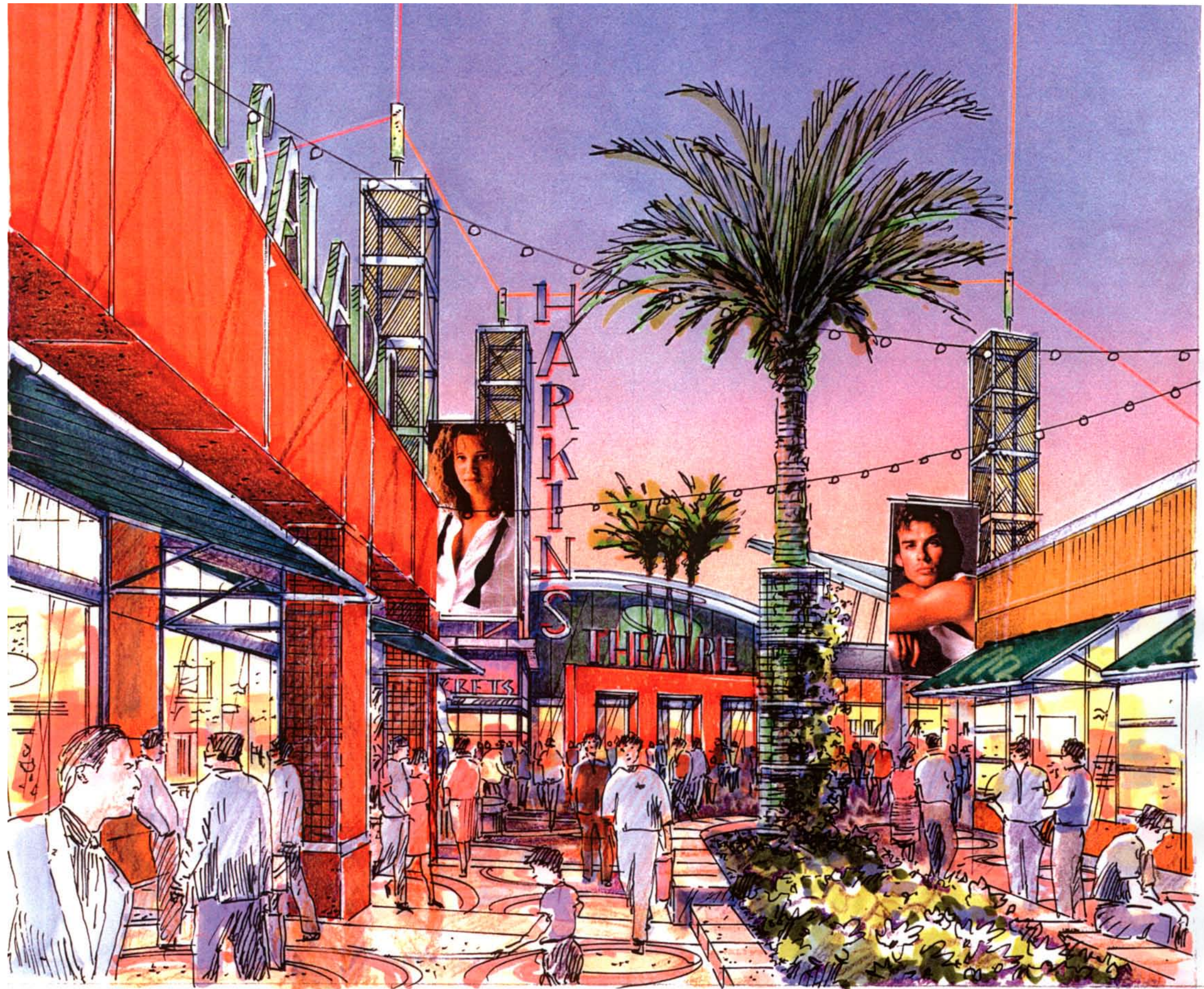


## Building Sign Matrix - Harkins Theatres "The District"

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
<b>Building Signage</b>	Wall Mounted Signs	Theatre Identification	All elevations that offer readability	120" Maximum Letter Height	6 SF / Linear Foot of Each Building Elevation (Typical)	Interior, Backlit, Exposed Neon or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
<b>Image Panels</b>	Wall Mounted Signs	Thematic	All elevations that offer readability	TBD	TBD	Interior and/or Exterior	Aluminum, Acrylic, Painted Metal, Flexface Material
<b>Electronic Showtime</b>	Wall Mounted Signs	Showtimes	Ticketing	TBD	TBD	Electronic LED	Aluminum, Acrylic, Painted Metal
<b>Posters</b>	Wall Mounted Signs	Movie Posters	Pedestrian Area	TBD	TBD	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal
<b>Exposed Neon</b>	Wall Mounted	Thematic Design	TBD	TBD	TBD	Neon Tubing	Neon Tubing

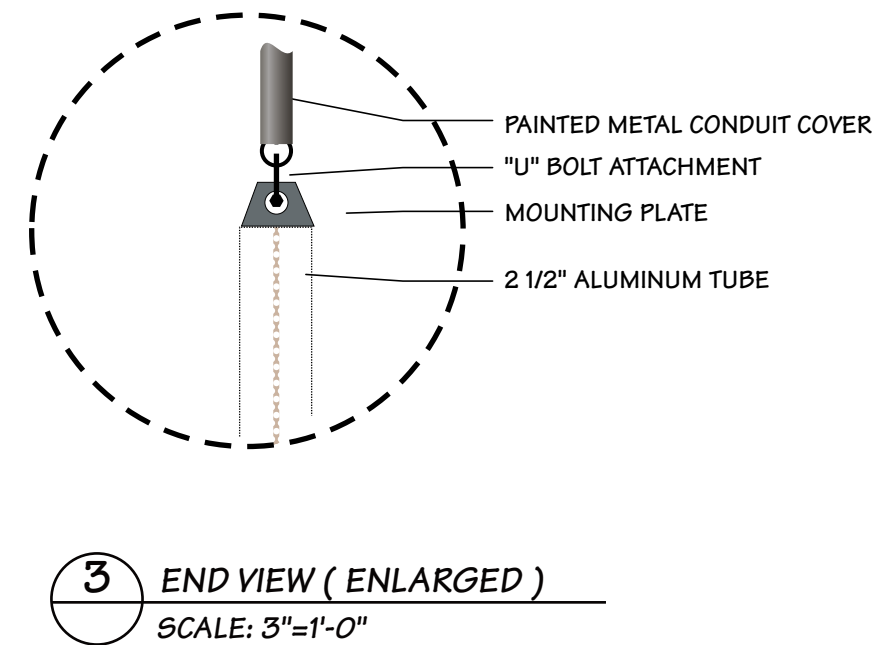
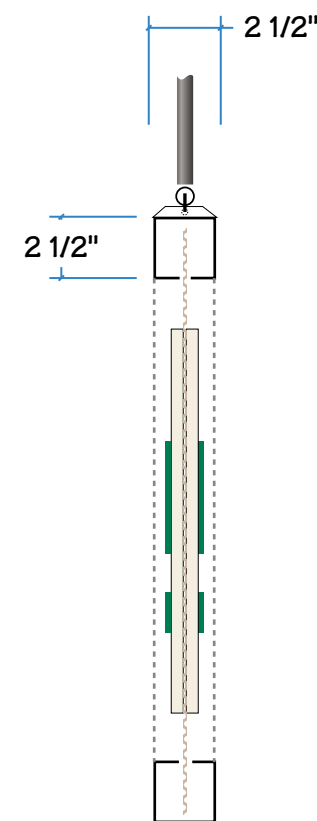
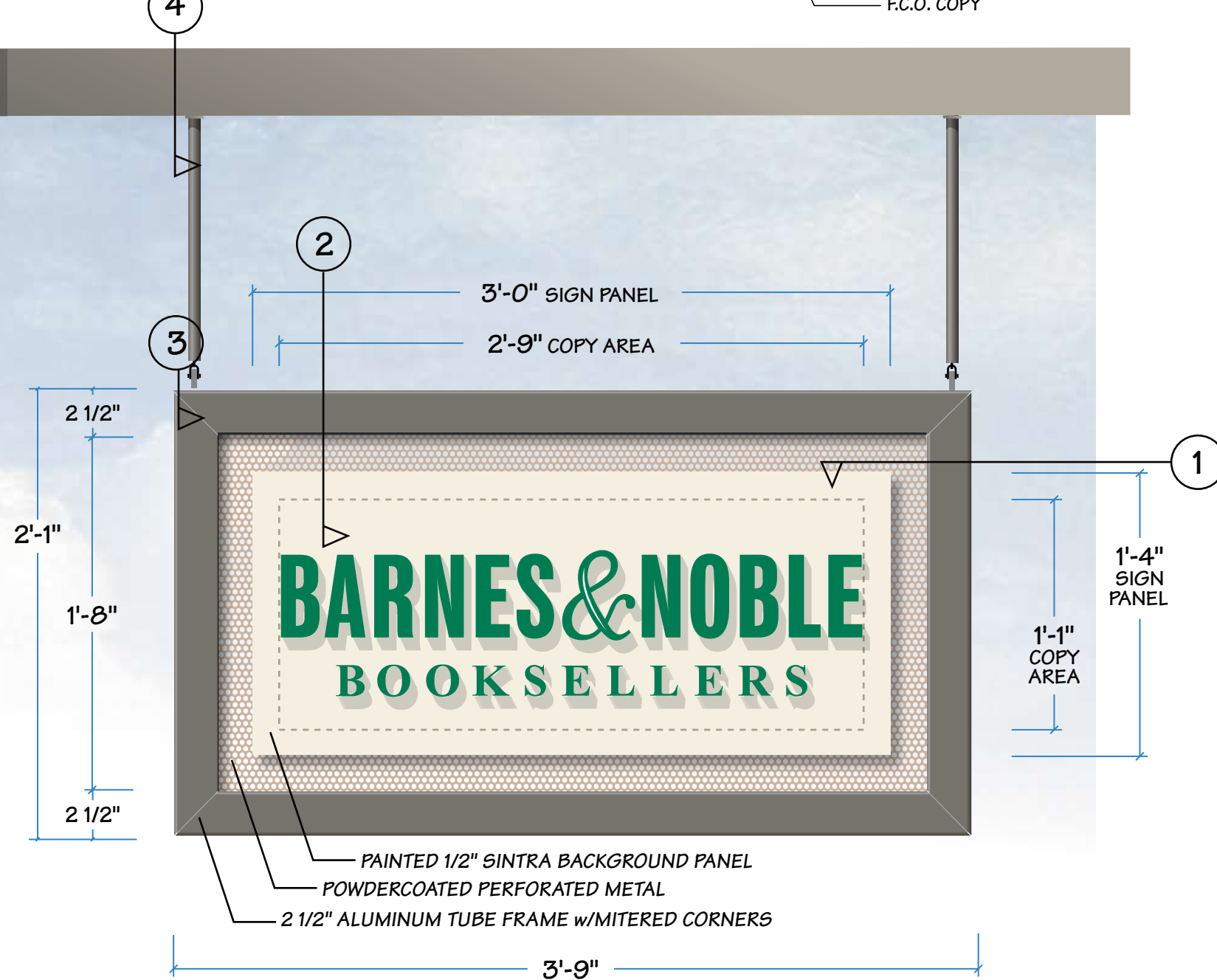
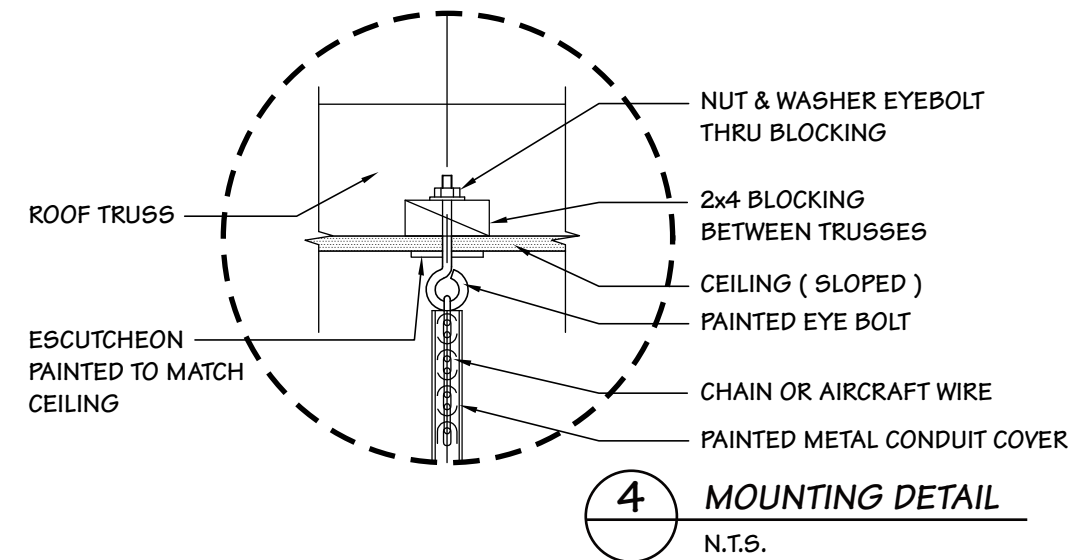
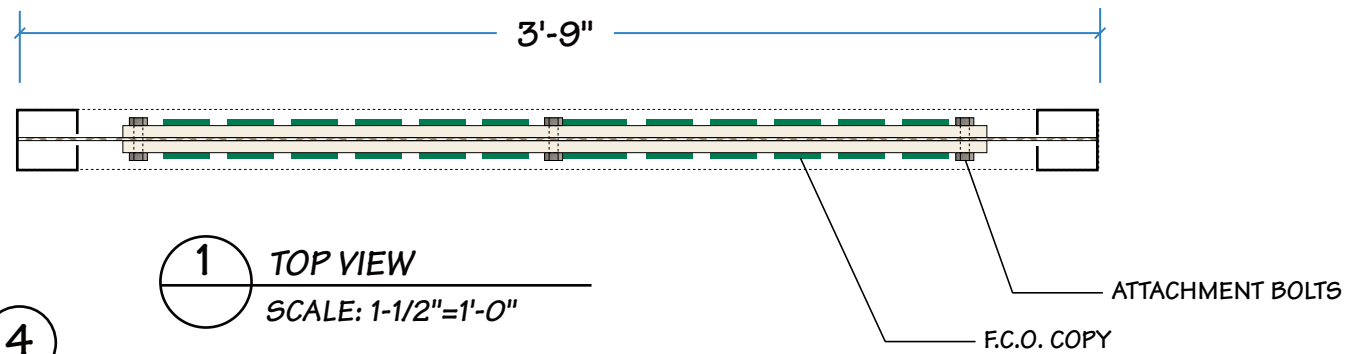
**General Notes:**

- 1) All signs or devices identifying the theatre use, shall be attached to the building surface, canopies and/or specialty structures as directed by the Developer and as illustrated on the attached elevations.
- 2) All theatre signage placed within "The District" or oriented to the interior of "The District" shall be exempt from sign area, letter size and placement restrictions.
- 3) Theatre signage will consist primarily of individual illuminated letters and logos and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, letters utilizing exposed neon or any combination thereof.
- 4) Thematic graphic images shall be displayed throughout "The District" and theatre complex on framed structures attached to support structures, building walls, and pylons. Images shall be placed in locations illustrated on the attached elevations.
- 5) Theatre signage shall not exceed seventy-five (75%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the sign background and/or mounting structure shall regulate the letter height and placement. In no event shall the sign envelop, inclusive of logos and art forms, exceed seventy (70%) percent of the vertical height of the sign background upon which it is placed. This provision may be varied due to architectural design features.
- 6) The Developer shall have sole and separate discretion in varying any provision of these specifications.



VIEW IN THE DISTRICT LOOKING NORTH EASTERLY TOWARD THE THEATER COURT





2 SECTION  
SCALE: 1-1/2"=1'-0"

D/F HANGING BLADE SIGN ELEVATION  
SCALE: 1-1/2"=1'-0"

TENANT COPY TO BE FLAT CUT OUT, FLUSH MOUNTED, SINTRA™ OR ALUMINUM, 1/4" THICK  
TENANT COPY TO BE PAINTED PER TENANT'S CORPORATE COLORS

DEVELOPER APPROVAL REQUIRED

Developer:

Vestar

2425 East Camelback Road • Suite 750 • Phoenix, Arizona 85016  
PHONE: 602-866-0800

2030 WEST DESERT COVE AVE. • PHOENIX, ARIZONA 85029 • 602.944.3117 • FAX 602.395.0753 • SALES@BLEIERINDUSTRIES.COM

PROJECT:	Vestar Development Tempe Marketplace, AZ
TITLE:	TYPICAL BLADE SIGN
DESIGNER:	Dan Horton
SALES:	Paul Bleier

DESIGN NO:	2004-C-012	DATE:	04/10/06
SCALE:	AS NOTED	REVISIONS:	
SHEET NO:	BS-1		

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APPROVED BY:

X